



Rizzetta & Company

Lakeside Community Development District

Board of Supervisors Meeting April 27, 2022

**District Office:
5844 Old Pasco Road, Suite 100
Wesley Chapel, FL 33544
813-994-1001**

www.lakesidecdd.org

LAKESIDE COMMUNITY DEVELOPMENT DISTRICT

Rizzetta & Company, Inc., 5844 Old Pasco Road, Suite 100, Wesley Chapel, FL 33544

Board of Supervisors

Jack Koch	Chair
Linda Ramlot	Vice Chair
Samantha Manning	Assistant Secretary
Christina Brooks	Assistant Secretary
Gordon Dexter	Assistant Secretary

District Manager

Lynn Hayes Rizzetta & Company, Inc.

District Counsel

Alyssa Willson Kutak Rock LLP

District Engineer

David Fleeman Florida Design Consultants, Inc.

All cellular phones must be placed on mute while in the meeting room.

The Audience Comment portion of the agenda is where individuals may make comments on matters that concern the District. Individuals are limited to a total of three (3) minutes to make comments during this time.

Pursuant to provisions of the Americans with Disabilities Act, any person requiring special accommodations to participate in this meeting/hearing/workshop is asked to advise the District Office at least forty-eight (48) hours before the meeting/hearing/workshop by contacting the District Manager at (813) 933-5571. If you are hearing or speech impaired, please contact the Florida Relay Service by dialing 7-1-1, or 1-800-955-8771 (TTY) 1-800-955-8770 (Voice), who can aid you in contacting the District Office.

A person who decides to appeal any decision made at the meeting/hearing/workshop with respect to any matter considered at the meeting/hearing/workshop is advised that person will need a record of the proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

April 25, 2022

**Board of Supervisors
Lakeside Community
Development District**

REVISED FINAL AGENDA

Dear Board Members:

The regular meeting of the Board of Supervisors of the Lakeside Community Development District will be held on **Wednesday, April 27, 2021, at 11:00 a.m.** at the offices of Rizzetta & Company located at 5844 Old Pasco Road, Suite 100, Wesley Chapel, FL 33544. The following is the agenda for this meeting:

- 1. CALL TO ORDER**
- 2. AUDIENCE COMMENTS ON AGENDA ITEMS**
- 3. BUSINESS ITEMS**
 - A. Consideration of Faulkner Engineering Services Roadway Proposal..... Tab 1
 - B. Consideration of the Site Masters Dock Erosion Repair Proposal..... Tab 2
 - C. Consideration of Series 2015/2018 LLS Tax Solutions Arbitrage Engagement Letters Tab 3
- 4. BUSINESS ADMINISTRATION**
 - A. Consideration of Minutes of the Board of Supervisor's Meeting held on March 23, 2022..... Tab 4
 - B. Consideration of Operation and Maintenance Expenditures for March 2022..... Tab 5
- 5. STAFF REPORTS**
 - A. District Counsel
 1. Consideration of Commercial Advertising Policy Tab 6
 2. Consideration of Draft Trespass Letter Tab 7
 - B. District Engineer
 1. Consideration of Installation of Missing Sidewalks And ADA Ramps Proposal Tab 8
 2. Sidewalk RFP Recommendation Tab 9
 3. Discussion of Lakeside Punchlist Without Wear and Tear Items..... Tab 10
 - C. Field Inspection Report/Landscaper's Comments..... Tab 11
 1. Turf Replacement Report..... Tab 12
 2. Consideration of RedTree Landscape Proposals..... Tab 13
 - D. Presentation of Aquatics Report Tab 14
 - E. District Manager Report Tab 15
- 6. SUPERVISOR REQUESTS**
- 7. ADJOURNMENT**

We look forward to seeing you at the meeting. In the meantime, if you have any questions, please do not hesitate to contact me at (813) 994-1001.

Sincerely,
Lynn Hayes
District Manager

Tab 1

April 20, 2022

Mr. David Fleeman, PE
Florida Design Consultants, Inc.
20525 Amberfield Drive, Suite 201
Land O'Lakes, Florida 34638

**RE: Proposal for Pavement Condition Assessment
Lakeside Subdivision
Pasco County, Florida
FES Proposal No.: P22-8292**

Dear Mr. Fleeman:

Faulkner Engineering Services, Inc. (FES) appreciates the opportunity to submit this pavement condition assessment proposal for the referenced project. Within this proposal we have provided our understanding of the project, our projected scope of services, our fee estimate and our tentative schedule.

PROJECT BACKGROUND

Based on the information provided by Mr. David Fleeman, P.E., of Florida Design Consultants, Inc. (FDC), we understand that the Lakeside CDD board is requesting a pavement condition assessment in order to provide remediation recommendations. Additionally, an opinion about the remaining pavement life is also requested. We expect that the original pavement design will be available from FDC or CDD. FES has previously performed a limited visual survey of the interior roadways within the Lakeside Subdivision located in Pasco County, Florida and presented the results in a report dated March 15, 2022.

PROPOSED SCOPE OF SERVICES

Based on the information provided to us and our understanding of the project, a summary of our intended scope of services is as follows:

1. Site visit by FES personnel.
1. Perform a visual survey of the affected areas along the existing internal roadway within the Lakeside Subdivision to assess the nature of cracking in accordance with ASTM D6433 in order to assess the pavement condition.
2. Perform a series of ten (10) pavement cores and shallow hand auger borings in order to evaluate the existing pavement section and the immediate subsurface soils at select locations showing distress.
3. Based on the results of our evaluation, FES will provide a pavement condition index (PCI) value for the internal roadways evaluated and thereby provide an estimate of the expected remaining life of pavement.
4. Prepare a written report of our findings and remedial recommendations. The report will be prepared by a geotechnical engineer and will be reviewed by a senior geotechnical engineer licensed in the State of Florida. Our visual assessment report will address but not be limited to the following:

- Our understanding of the project
- The site description
- Findings from the pavement condition assessment
- Provide an estimated expected pavement life
- Provide recommendations for remediation

FEE ESTIMATE

We will perform the pavement visual survey discussed in the Scope of Services above for a total estimated fee of **\$8,755.00**. We will not exceed this budget amount unless the scope of work is increased, and only then with your prior approval.

SCHEDULE

We can commence the pavement visual survey within fifteen working days of receiving formal authorization to proceed. We anticipate completing all fieldwork within one to two working days. We can provide verbal results as they become available and a written report within two weeks of completing the fieldwork.

AUTHORIZATION

We can commence this project upon receipt of an executed copy of the enclosed Proposal Acceptance Sheet. The terms and conditions on the back of the sheet are part of the proposal. Please also complete and return the Report Distribution Sheet to facilitate the distribution of the report to the interested parties and to avoid additional copy charges after the report has been finalized.

CLOSING

Faulkner Engineering Services, Inc. (FES) appreciates the opportunity to submit this proposal and we look forward to being of service on this project. Please contact the undersigned if you have any questions concerning this proposal

Sincerely,

Faulkner Engineering Services, Inc.

Pavan Kolukula

Pavan K. Kolukula, P.E.
Senior Geotechnical Engineer

Attachments: Proposal Acceptance Sheet
Report Distribution

PROPOSAL ACCEPTANCE FORMDescription of Services Proposal for Pavement Condition AssessmentProject Name Lakeside SubdivisionProject Location Pasco County, FloridaProposal Number & Date FES P22-8292/ April 20, 2022Location of Office Performing Services 2734 Causeway Center Drive, Tampa, FL 33619**FOR PAYMENT OF CHARGES:**

Charge Invoice to the Account of:

Firm _____

Address _____ City _____

State _____ Zip Code _____ Phone Number _____

Attention _____ Email _____

FOR APPROVAL OF CHARGES:

If the invoice is to be mailed for approval to someone other than the account charged, please indicate where to mail the invoice in the space below:

Firm _____

Address _____ City _____

State _____ Zip Code _____ Phone Number _____

Attention _____ Email _____

PROPERTY OWNER IDENTIFICATION (If Different than the Above):

Firm _____

Address _____ City _____

State _____ Zip Code _____ Phone Number _____

Attention _____ Title _____

SPECIAL INSTRUCTIONS: _____**PAYMENT TERMS:**

Compensation will be in accordance with the proposal referenced above. Invoices will be issued monthly. Client agrees to pay all charges not in dispute within 30 days of receipt of invoice and recognizes that charges not paid within 30 days are subject to a late payment charge of 1.5 percent of the balance due for each additional month or fraction thereof that undisputed charges remain unpaid. Charges held in dispute will be called to the attention of FES within 10 days of receipt of invoice. Client agrees to pay cost of collection, including reasonable attorney's fees, if invoices are collected by law or through an attorney. Client further agrees that FES has the right to suspend or terminate service if undisputed charges are not paid within 45 days of receipt of FES invoice and agrees to waive any claim against FES and to indemnify, defend and hold FES harmless from and against any claims arising from FES' suspension or termination due to Client's failure to provide timely payment.

PROPOSAL ACCEPTANCE:

The Terms and Conditions of this Proposal, including the Terms on this page and the reverse hereof are:

Accepted this _____ day of _____, 2022

____ Print or type individual, firm or corporate body name

Signature of authorized representative_____
Print or type name of authorized representative and title

TERMS AND CONDITIONS

1. STANDARD OF CARE

Client recognized that subsurface conditions may vary from those observed at locations where borings, surveys, or explorations are made, and that site conditions may change with time. Data, interpretations, and recommendations by FES will be based solely on information available to FES. FES is responsible for those data, interpretations, and recommendations, but will not be responsible for other parties' interpretations or use of the data.

2. RISK ALLOCATION

Many risks potentially affect FES by virtue of entering into this Agreement to perform professional engineering services on behalf of Client. The principal risk is the potential for human error by FES. For Client to obtain the benefit of a fee which includes a nominal allowance for dealing with FES's liability Client agrees to limit FES's liability to Client and to all other parties for claims arising out of FES's performance of the services described in the Agreement. The aggregate liability of FES will not exceed the amount of our fee, for negligent professional acts, errors, or omissions. Client agrees to indemnify and hold harmless FES from and against all liabilities in excess of the monetary limit established above.

Limitations on liability and indemnities in this Agreement are business understandings between the parties voluntarily and knowingly entered into, and shall apply to all theories of recovery including, but not limited to, breach of contract, warranty, tort (including negligence), strict or statutory liability, or any other cause of action, except for willful misconduct or gross negligence. The parties also agree that Client will not seek damages in excess of the limitations indirectly through suits with other parties who may join FES as a third-party defendant. Parties mean Client and FES and their officers, employees, agents, affiliates and subcontractors.

Both Client and FES agree that they will not be liable to each other, under any circumstances, for special, indirect, consequential, or punitive damages arising out or related to this Agreement.

3. DISPUTE RESOLUTION COSTS

Should third-party dispute resolution be required through litigation, arbitration, or an alternative dispute resolution method, the nonprevailing party shall reimburse the prevailing party for the prevailing party's documented legal costs in addition to whatever judgement or settlement sums may be due. Such costs shall include reasonable attorney's fees, court costs, consultant and expert witness fees, and other documented expenses as well as the value of time spent by the prevailing party and its employees to research the issues, discuss the matter with attorney, etc. Insofar as FES is concerned, the value of time spent shall be based upon FES's prevailing fee schedule.

4. SITE ACCESS AND SITE CONDITIONS

Client will grant or obtain free access to the site for all equipment and personnel necessary for FES to perform the work set forth in this Agreement. Client will notify any and all possessors of the project site that Client has granted FES free access to the site. FES will take reasonable precautions to minimize damage to the site, but it is understood by Client that, in the normal course of work, some damage may occur and the correction of such damage is not part of this Agreement unless so specified in the Proposal.

Client is responsible for accurately providing the locations of all subterranean structures and utilities and wetland sensitive areas. FES will take reasonable precautions to avoid known subterranean structures and wetland sensitive areas. Client waives any claim against FES, and agrees to defend, indemnify, and hold FES harmless from any claim or liability for injury or loss, including costs of defense, arising from damage done to subterranean structures and utilities and, unless FES has been contracted to delineate wetland areas on the site, to wetland sensitive areas not identified or accurately located. In addition, Client agrees to compensate FES for any time spent or expenses incurred in defense of any such claim, with compensation to be based upon FES's prevailing fee schedule and expense reimbursement policy.

5. SAFETY

Should our company provide observations or monitoring services at the job site during construction, Client agrees that, in accordance with the generally accepted construction practice, the contractor will be solely and completely responsible for working conditions on the job site, including safety of all persons and property during the performance of the work and compliance with OSHA regulations. These requirements will apply continuously and will not be limited to normal working hours. Any monitoring of the contractor's procedures conducted by our company does not include review of the adequacy of the contractor's safety measures in, on, adjacent to, or near the construction site.

6. MONITORING

If FES is retained by Client to provide a site representative for the purpose of monitoring specific portions of construction work or other field activities as set forth in the Proposal, then this phrase applied. For the specified assignment, FES will report observations and professional opinions to Client. No action of FES or FES's site representative can be construed as altering any Agreement between Client and others. FES will report to Client any observed geotechnically related work which, in FES's professional opinion, does not conform with plans and specifications. The FES representative has no right to reject or stop work of any agent of the Client. Such rights are reserved solely for Client. Furthermore, FES's presence on site does not in any way guarantee the completion or quality of the performance of the work of any party retained by Client to provide field or construction-related services.

FES will not be responsible for and will not have control or charge of specific means, methods, techniques, sequences, or procedures of construction or other field activities selected by an agent of the Client.

7. SAMPLING OR TEST LOCATION

Unless otherwise stated, the fees in this proposal do not include costs associated with surveying of the site for the accurate horizontal and vertical locations of tests. Field tests or boring locations described in a report or shown on sketches are based upon information furnished by others or estimates made in the field by our representative. Such dimensions, depths, or elevations should be considered as approximations unless otherwise stated. If the client specifies the test or boring location, we reserve the right to deviate a reasonable distance from the location specified.

8. SAMPLE DISPOSAL

Unless otherwise required, test specimens or samples will be disposed of immediately upon completion of tests, and other drilling samples or specimens will be disposed of 60 days after submission of our report. Upon written request, we will retain test specimens or drilling samples for a mutually acceptable storage charge and period of time.

9. DISCOVERY OF UNANTICIPATED HAZARDOUS MATERIALS

Client represents that Client has made a reasonable effort to evaluate if hazardous materials are on or near the project site, and that Client has informed FES of Client's findings relative to the possible presence of such materials.

Hazardous materials may exist at a site where there is no reason to believe they could or should be present. FES and Client agree that the discovery of unanticipated hazardous materials constitutes a changed condition mandating a renegotiation of the scope of work or termination of services. FES and Client also agree that the discovery of unanticipated hazardous materials may make it necessary for FES to take immediate measures to protect health and safety. Client agrees to compensate FES for any equipment decontamination or other costs incident to the discovery of unanticipated hazardous materials.

FES agrees to notify Client when unanticipated hazardous materials or suspected hazardous materials are encountered. Client agrees to make any disclosures required by law to the appropriate governing agencies. Client also agrees to hold FES harmless for any and all consequences of disclosures made by FES which are required by governing law. In the event the project site is not owned by Client, Client recognizes that it is Client's responsibility to inform the property owner of the discovery of unanticipated hazardous materials or suspected hazardous materials.

Notwithstanding any other provision of the Agreement, Client waives any claim against FES and, to the maximum extent permitted by law, agrees to defend, indemnify and save FES harmless from any claim, liability, and/or defense costs for injury or loss arising from FES's discovery of unanticipated hazardous materials or suspected hazardous materials, including, but not limited to, any costs created by delay of the project and any cost associated with possible reduction of the property's value.

10. TERMINATION

This Agreement may be terminated by either party seven (7) days after written notice in the event of any breach of any provision of this Agreement or in the event of substantial failure of performance by the other party, or if Client suspends the work for more than three (3) months. In the event of termination, FES will be paid for services performed prior to the date of termination plus reasonable termination expenses, including, but not limited to, the cost of completing analyses, records, and reports necessary to document job status at the time of termination.

11. OWNERSHIP OF DOCUMENTS

All documents including, but not limited to, drawings, specifications, reports, boring logs, field notes, laboratory test data, calculations, and estimates prepared by our firm as instruments of service pursuant to this Agreement shall be the sole property of FES. Client agrees that all documents of any nature furnished to Client or Client's agents or designees, if not paid for, will be returned upon demand and will not be used by Client for any purpose whatsoever. Client further agrees that under no circumstances shall any document produced by our firm, pursuant to this Agreement, be used at any location or for any project not expressly provided for in this Agreement without our written permission. At the request and expense of Client, we will provide Client with copies of documents created in the performance of this work for a period not exceeding five years following submission of the report or reports contemplated by this Agreement.

12. GOVERNING LAW AND SURVIVAL

The validity, interpretation, and performance of this Agreement shall be governed by the law of the State in which the FES office, identified as "Consultant" on the Proposal Acceptance Sheet for this project, is located. In addition, FES and Client agree to submit to the personal and exclusive jurisdiction and venue of said State with respect to any claims which may arise under this Agreement. If any of the provisions contained in this Agreement are held illegal, invalid, or unenforceable, the enforceability of the remaining provisions will not be impaired. Limitations of liability and indemnities will survive termination of this Agreement for any cause.

REPORT DISTRIBUTION LIST

Project: Lakeside Subdivision – Pavement Condition Assessment
FES Proposal No.: P22-8292

CLIENT

Firm or Corporate Body Name _____

Address _____

City _____ State _____ Zip Code _____ Phone Number _____

Facsimile Number _____ Attention _____

Title _____

Number of Copies _____

ADDITIONAL COPIES:

Firm or Corporate Body Name _____

Address _____

City _____ State _____ Zip Code _____ Phone Number _____

Facsimile Number _____ Attention _____

Title _____

Number of Copies _____

Firm or Corporate Body Name _____

Address _____

City _____ State _____ Zip Code _____ Phone Number _____

Facsimile Number _____ Attention _____

Title _____

Number of Copies _____

Special Instructions:

* The standard number of copies is two (2) copies each per client plus one (1) copy each as listed in Additional Copies, unless otherwise stated at the time the acceptance form is signed and approved. If additional copies are required upon completion of the report, a minimal standard printing charge will be invoiced for each copy requested.

Tab 2

Site Masters of Florida, LLC
5551 Bloomfield Blvd.
Lakeland, FL 33810
Phone: (813) 917-9567
Email: tim.sitemastersofflorida@yahoo.com

PROPOSAL

Lakeside CDD

Dock Erosion Repair

8/10/2021

Remediate erosion at Amenity Center dock by constructing swales to re-direct surface drainage away from dock

- all grass and soils removed will be disposed offsite
- swales will be sodded with Bahia sod
- rubble rip-rap will be added from bottom of Geoweb under the dock, to the edge of water, and will extend along water's edge to outer limits of new swales

TOTAL \$4,800

Jack 8/17/2021
Jack W. Koch Chairman

Site Masters of Florida, LLC
5551 Bloomfield Blvd.
Lakeland, FL 33810
Phone: (813) 917-9567
Email: tim.sitemastersofflorida@yahoo.com

PROPOSAL

Lakeside CDD

Dock Erosion Repair

4/19/2022

Remediate erosion at Amenity Center dock by constructing improvements per District Engineer plan, dated 4-13-22

- remove 2 panels adjacent to beginning of dock
- replace missing soil under 2 panels
- construct 2 panels with thickened side edges

- construct 9" deep x 6' wide swales to 20' away from dock
- install 12" yard drain box at low end of swales
- install 6" solid ADS pipe from drain down to waters edge
- construct 18" concrete pad at end of 6" pipe
- restore swales with Bahia sod

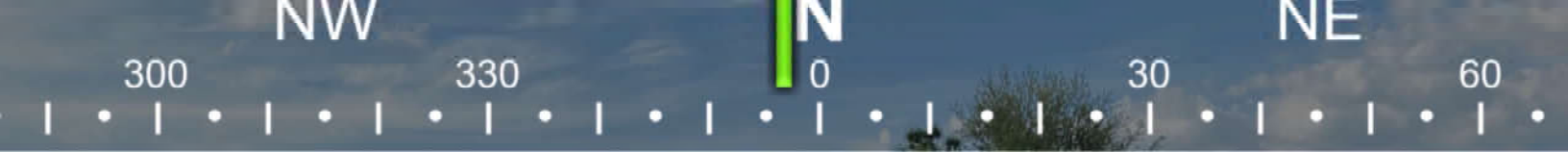
- remove lower 10' of existing geoweb
- level ground surface under dock
- place 4" - 9" rip -rap on geo-fabric from geoweb to waters edge

TOTAL \$6,400



REMOVE & REPLACE THIS SIDEWALK -
THICKEN EDGES TO PROTECT AGAINST
FUTURE WASHOUTS

FILL THIS AREA WITH SOIL
(BOTH SIDES OF WALKWAY)



☀ 357°N (T) ● 28.357285°N, 82.587786°W ±22ft

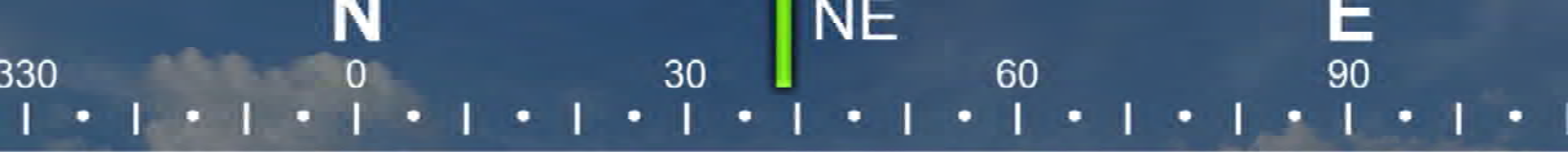


CONSTRUCT MIRROR IMAGE
ON THIS SIDE OF PIER

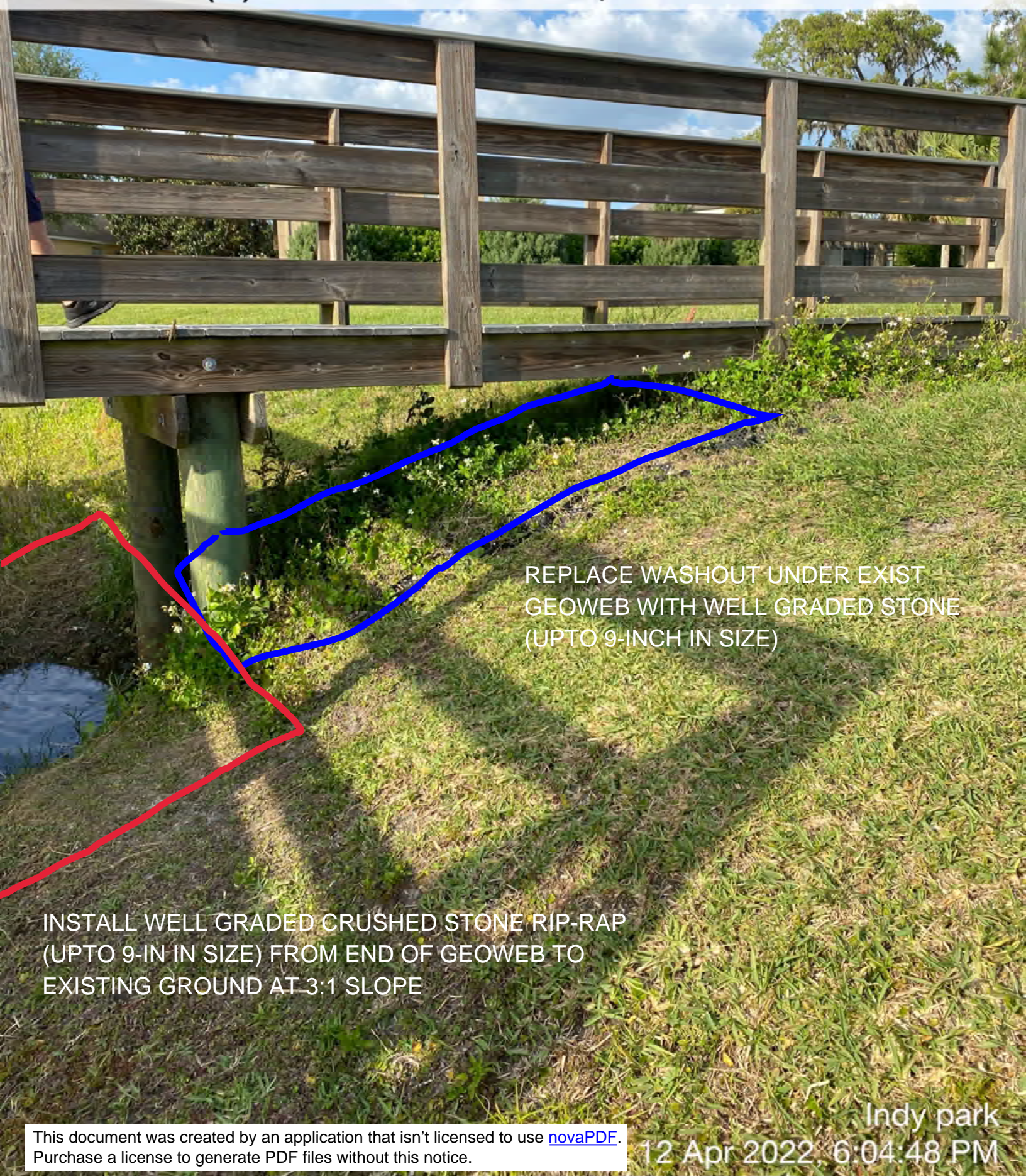
CONSTRUCT SHALLOW
SWALE FROM SIDEWALK TO
PROPOSED YARD DRAIN

8-IN ADS PIPE DISCHARGING BELOW WATER LEVEL

ADS YARD DRAIN
(INSTALLED IN 9-
IN DEEP SWALE)



☀ 39°NE (T) ● 28.357366°N, 82.587847°W ±13ft



REPLACE WASHOUT UNDER EXIST
GEOWEB WITH WELL GRADED STONE
(UPTO 9-INCH IN SIZE)

INSTALL WELL GRADED CRUSHED STONE RIP-RAP
(UPTO 9-IN IN SIZE) FROM END OF GEOWEB TO
EXISTING GROUND AT 3:1 SLOPE

Tab 3



LLS Tax Solutions Inc.
2172 W. Nine Mile Rd.
#352
Pensacola, FL 32534
Telephone: 850-754-0311
Email: liscott@llstax.com

April 20, 2022

Lakeside Community Development District
c/o Rizzetta & Company, Inc.
3434 Colwell Avenue, Suite 200
Tampa, Florida 33614

Thank you for choosing LLS Tax Solutions Inc. ("LLS Tax") to provide arbitrage services to Lakeside Community Development District ("Client") for the following bond issue. This Engagement Letter describes the scope of the LLS Tax services, the respective responsibilities of LLS Tax and Client relating to this engagement and the fees LLS Tax expects to charge.

- \$5,635,000 Lakeside Community Development District Capital Improvement Revenue Bonds, Series 2015

SCOPE OF SERVICES

The procedures that we will perform are as follows:

- Assist in calculation of the bond yield, unless previously computed and provided to us.
- Assist in determination of the amount, if any, of required rebate to the federal government.
- Issuance of a report presenting the cumulative results since the issue date of the issue of bonds.
- Preparation of necessary reports and Internal Revenue Service ("IRS") forms to accompany any required payment to the federal government.

As a part of our engagement, we will read certain documents associated with each issue of bonds for which services are being rendered. We will determine gross proceeds of each issue of bonds based on the information provided in such bond documents. You will have sole responsibility for determining any other amounts not discussed in those documents that may constitute gross proceeds of each series of bonds for the purposes of the arbitrage requirements.

TAX POSITIONS AND REPORTABLE TRANSACTIONS

Because the tax law is not always clear, we will use our professional judgment in resolving questions affecting the arbitrage calculations. Unless you instruct us otherwise, we will take the reporting position most favorable to you whenever reasonable. Any of your bond issues may be selected for review by the IRS, which may not agree with our positions. Any proposed adjustments are subject to

certain rights of appeal. Because of the lack of clarity in the law, we cannot provide assurances that the positions asserted by the IRS may not ultimately be sustained, which could result in the assessment of potential penalties. You have the ultimate responsibility for your compliance with the arbitrage laws; therefore, you should review the calculations carefully.

The IRS and some states have promulgated “tax shelter” rules that require taxpayers to disclose their participation in “reportable transactions” by attaching a disclosure form to their federal and/or state income tax returns and, when necessary, by filing a copy with the Internal Revenue Service and/or the applicable state agency. These rules impose significant requirements to disclose transactions and such disclosures may encompass many transactions entered into in the normal course of business. Failure to make such disclosures will result in substantial penalties. In addition, an excise tax is imposed on exempt organizations (including state and local governments) that are a party to prohibited tax shelter transactions (which are defined using the reportable transaction rules). Client is responsible for ensuring that it has properly disclosed all “reportable transactions” and, where applicable, complied with the excise tax provision. The LLS Tax services that are the subject of this Engagement Letter do not include any undertaking by LLS Tax to identify any reportable transactions that have not been the subject of a prior consultation between LLS Tax and Client. Such services, if desired by Client, will be the subject of a separate engagement letter. LLS Tax may also be required to report to the IRS or certain state tax authorities certain tax services or transactions as well as Client’s participation therein. The determination of whether, when and to what extent LLS Tax complies with its federal or state “tax shelter” reporting requirements will be made exclusively by LLS Tax. LLS Tax will not be liable for any penalties resulting from Client’s failure to accurately and timely file any required disclosure or pay any related excise tax nor will LLS Tax be held responsible for any consequences of its own compliance with its reporting obligations. Please note that any disclosure required by or made pursuant to the tax shelter rules is separate and distinct from any other disclosure that Client might be required to or choose to make with its tax returns (e.g., disclosure on federal Form 8275 or similar state disclosure).

PROFESSIONAL FEES AND EXPENSES

Our professional fees for the services listed above for the three annual bond years ending July 8, 2023, July 8, 2024, and July 8, 2025, is \$1,500, which is \$500 each year. We will bill you upon completion of our services. Our invoices are payable upon receipt. Additionally, you may request additional consulting services from us upon occasion; we will bill you for these consulting services at a beforehand agreed upon rate.

Unanticipated factors that could increase our fees beyond the estimate given above include the following (without limitation). Should any of these factors arise we will alert you before additional fees are incurred.

- Investment data provided by you is not in good order or is unusually voluminous.
- Proceeds of bonds have been commingled with amounts not considered gross proceeds of the bonds (if that circumstance has not previously been communicated to us).
- A review or other inquiry by the IRS with respect to an issue of bonds.

The Client (District) has the option to terminate this Agreement within ninety days of providing notice to LLS Tax Solutions Inc. of its intent.

ACCEPTANCE

You understand that the arbitrage services, report and IRS forms described above are solely to assist you in meeting your requirements for federal income tax compliance purposes. This Engagement Letter constitutes the entire agreement between Client and LLS Tax with respect to this engagement, supersedes all other oral and written representations, understandings or agreements relating to this engagement, and may not be amended except by the mutual written agreement of the Client and LLS Tax.

Please indicate your acceptance of this agreement by signing in the space provided below and returning a copy of this Engagement Letter to us. Thank you again for this opportunity to work with you.

Very truly yours,
LLS Tax Solutions Inc.

AGREED AND ACCEPTED:
Lakeside Community Development District

By: Linda L. Scott

Linda L. Scott, CPA

By: _____

Print Name _____

Title _____

Date: _____



LLS Tax Solutions Inc.
2172 W. Nine Mile Rd.
#352
Pensacola, FL 32534
Telephone: 850-754-0311
Email: liscott@llstax.com

April 25, 2022

Lakeside Community Development District
c/o Rizzetta & Company, Inc.
3434 Colwell Avenue, Suite 200
Tampa, Florida 33614

Thank you for choosing LLS Tax Solutions Inc. ("LLS Tax") to provide arbitrage services to Lakeside Community Development District ("Client") for the following bond issues. This Engagement Letter describes the scope of the LLS Tax services, the respective responsibilities of LLS Tax and Client relating to this engagement and the fees LLS Tax expects to charge.

- \$5,275,000 Lakeside Community Development District Capital Improvement Revenue Bonds, Series 2018

SCOPE OF SERVICES

The procedures that we will perform are as follows:

- Assist in calculation of the bond yield, unless previously computed and provided to us.
- Assist in determination of the amount, if any, of required rebate to the federal government.
- Issuance of a report presenting the cumulative results since the issue date of the issue of bonds.
- Preparation of necessary reports and Internal Revenue Service ("IRS") forms to accompany any required payment to the federal government.

As a part of our engagement, we will read certain documents associated with each issue of bonds for which services are being rendered. We will determine gross proceeds of each issue of bonds based on the information provided in such bond documents. You will have sole responsibility for determining any other amounts not discussed in those documents that may constitute gross proceeds of each series of bonds for the purposes of the arbitrage requirements.

TAX POSITIONS AND REPORTABLE TRANSACTIONS

Because the tax law is not always clear, we will use our professional judgment in resolving questions affecting the arbitrage calculations. Unless you instruct us otherwise, we will take the reporting position most favorable to you whenever reasonable. Any of your bond issues may be selected for review by the IRS, which may not agree with our positions. Any proposed adjustments are subject to certain rights of appeal. Because of the lack of clarity in the law, we cannot provide assurances that the positions asserted by the IRS may not ultimately be sustained, which could result in the assessment

of potential penalties. You have the ultimate responsibility for your compliance with the arbitrage laws; therefore, you should review the calculations carefully.

The IRS and some states have promulgated “tax shelter” rules that require taxpayers to disclose their participation in “reportable transactions” by attaching a disclosure form to their federal and/or state income tax returns and, when necessary, by filing a copy with the Internal Revenue Service and/or the applicable state agency. These rules impose significant requirements to disclose transactions and such disclosures may encompass many transactions entered into in the normal course of business. Failure to make such disclosures will result in substantial penalties. In addition, an excise tax is imposed on exempt organizations (including state and local governments) that are a party to prohibited tax shelter transactions (which are defined using the reportable transaction rules). Client is responsible for ensuring that it has properly disclosed all “reportable transactions” and, where applicable, complied with the excise tax provision. The LLS Tax services that are the subject of this Engagement Letter do not include any undertaking by LLS Tax to identify any reportable transactions that have not been the subject of a prior consultation between LLS Tax and Client. Such services, if desired by Client, will be the subject of a separate engagement letter. LLS Tax may also be required to report to the IRS or certain state tax authorities certain tax services or transactions as well as Client’s participation therein. The determination of whether, when and to what extent LLS Tax complies with its federal or state “tax shelter” reporting requirements will be made exclusively by LLS Tax. LLS Tax will not be liable for any penalties resulting from Client’s failure to accurately and timely file any required disclosure or pay any related excise tax nor will LLS Tax be held responsible for any consequences of its own compliance with its reporting obligations. Please note that any disclosure required by or made pursuant to the tax shelter rules is separate and distinct from any other disclosure that Client might be required to or choose to make with its tax returns (e.g., disclosure on federal Form 8275 or similar state disclosure).

PROFESSIONAL FEES AND EXPENSES

Our professional fees for services listed above for the three annual bond years ended July 26, 2022, July 26, 2023, and July 26, 2024, is \$1,500, which is \$500 each year. We will bill you upon completion of our services. Our invoices are payable upon receipt. Additionally, you may request additional consulting services from us upon occasion; we will bill you for these consulting services at a beforehand agreed upon rate.

Unanticipated factors that could increase our fees beyond the estimate given above include the following (without limitation). Should any of these factors arise we will alert you before additional fees are incurred.

- Investment data provided by you is not in good order or is unusually voluminous.
- Proceeds of bonds have been commingled with amounts not considered gross proceeds of the bonds (if that circumstance has not previously been communicated to us).
- A review or other inquiry by the IRS with respect to an issue of bonds.

The Client (District) has the option to terminate this Agreement within ninety days of providing notice to LLS Tax Solutions Inc. of its intent.

ACCEPTANCE

You understand that the arbitrage services, report and IRS forms described above are solely to assist you in meeting your requirements for federal income tax compliance purposes. This Engagement Letter constitutes the entire agreement between Client and LLS Tax with respect to this engagement, supersedes all other oral and written representations, understandings or agreements relating to this engagement, and may not be amended except by the mutual written agreement of the Client and LLS Tax.

Please indicate your acceptance of this agreement by signing in the space provided below and returning a copy of this Engagement Letter to us. Thank you again for this opportunity to work with you.

Very truly yours,
LLS Tax Solutions Inc.

AGREED AND ACCEPTED:
Lakeside Community Development District

By: Linda L. Scott

Linda L. Scott, CPA

By: _____

Print Name _____

Title _____

Date: _____

Tab 4

MINUTES OF MEETING
LAKESIDE COMMUNITY DEVELOPMENT DISTRICT

Each person who decides to appeal any decision made by the Board with respect to any matter considered at the meeting is advised that the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.

The regular meeting of the Board of Supervisors of the Lakeside Community Development District was held on **Wednesday, March 23, 2022, at 11:00 a.m.** at the offices of Rizzetta & Company located at 5844 Old Pasco Road, Suite 100, Wesley Chapel, FL 33544.

Present and constituting a quorum:

Jack Koch	Board Supervisor, Chair
Linda Ramlot	Board Supervisor, Vice Chair
Christina Brooks	Board Supervisor, Assistant Secretary
Gordon Dexter	Board Supervisor, Assistant Secretary
Samantha Manning	Board Supervisor, Assistant Secretary
	(via conf. call-joined the meeting at 11:25 a.m.)

Also Present:

Al Belluccia	District Engineer, Florida Design
David Fleeman	District Engineer, Florida Design
Lynn Hayes	District Manager, Rizzetta & Company, Inc.
Alyssa Willson	District Counsel, Kutak Rock LLP
Jason Liggett	Field Services, Rizzetta & Company
Peter Lucadano	Representative, Redtree Landscaping
	(joined meeting at 11:12 a.m.)
Robert Johnson	Representative, RedTree Landscaping
	(joined meeting at 11:12 a.m.)
Rich Lovett	Representative, Withlacoochee River Electric
David Lopez	District Counsel, Homeowners Association

FIRST ORDER OF BUSINESS

Call to Order

Mr. Hayes called to order and performed roll call and confirmed a quorum.

SECOND ORDER OF BUSINESS

Audience Comments

A resident indicated he is interested in purchasing CDD land behind his residence at 13475 Marble Sands.

THIRD ORDER OF BUSINESS

**Discussion of Street Lighting/CDD
Master Map Revision**

Mr. Lovett reviewed the streetlights photometric and quotes to install the six streetlights.

On a Motion by Mr. Koch, and seconded by Ms. Ramlot, with all in favor, the Board of Supervisors approved the Withlacoochee River Electric quote and directional boring quote for the street lighting project, for the Lakeside Community Development District.

FOURTH ORDER OF BUSINESS

**Discussion of HOA/CDD Well Cost
Share Agreement**

None of the Board members were interested in doing a well share cost agreement with the HOA.

FIFTH ORDER OF BUSINESS

Consideration of RedTree Quotes

On a Motion by Ms. Ramlot, and seconded by Mr. Dexter, with all in favor, the Board of Supervisors approved the RedTree Landscape Enhancement Quote for \$6,900, for the Lakeside Community Development District.

The Board tabled the Sod Installation Proposal for \$25,440 in newly developed areas across from 13838 Moose Head Circle next to 13632 Moosehead Circle. There was a lengthy discussion concerning this with the developer.

On a Motion by Mr. Koch, and seconded by Mr. Dexter, with all in favor, the Board of Supervisors approved the RedTree Quote to remove a tree at 13949 Crater Circle for \$2,700, for the Lakeside Community Development District.

SIXTH ORDER OF BUSINESS

**Public Hearing for Rules Relating to
Parking and Parking Enforcement
Agreement Between Lakeside CDD
and the Lakeside Homeowners
Association**

Mr. Hayes asked or a Motion to Open the Public Hearing for Rules Relating to Parking and Parking Enforcement.

On a Motion by Mr. Koch, and seconded by Ms. Brooks, with all in favor, the Board of Supervisors opened the Public Hearing for the Rules Relating to Parking and Parking Enforcement, for the Lakeside Community Development District.

On a Motion by Ms. Ramlot, and seconded by Ms. Brooks, with all in favor, the Board of Supervisors closed the Public Hearing for the Rules Relating to Parking and Parking Enforcement, for the Lakeside Community Development District.

SEVENTH ORDER OF BUSINESS

**Consideration of Resolution 2022-02,
Adopting Parking and Towing
Rules/Letter Agreement with
Association**

On a Motion by Mr. Dexter and seconded by Mr. Koch, with all in favor, the Board of Supervisors adopted Resolution 2022-02, Adopting Parking and Towing Rules/Letter Agreement with the Association, for the Lakeside Community Development District.

EIGHTH ORDER OF BUSINESS

**Consideration of the Minutes of the
Board of Supervisors Meeting held on
February 23, 2022,**

Mr. Hayes presented the minutes and inquired if there were any amendments. There were none.

On a Motion by Mr. Koch, and seconded by Ms. Ramlot, with all in favor, the Board of Supervisors approved the Minutes of the Board of Supervisors Meeting held on February 23, 2022, for the Lakeside Community Development District.

NINTH ORDER OF BUSINESS

**Consideration of Operation and
Maintenance Expenditures for
February 2022**

On a Motion by Mr. Dexter, and seconded by Ms. Brooks, with all in favor, the Board of Supervisors approved the Minutes of the Board of Supervisors Meeting held on February 23, 2022, and the Operation and Maintenance Expenditures for February 2022 (\$44,227.10), for the Lakeside Community Development District.

TENTH ORDER OF BUSINESS

**Presentation of Field Inspection
Report**

Mr. Liggett presented the Field Inspection Report dated March 2, 2022. RedTree is to provide a quote to remove the dead cypress trees towards the end of the common area of Sea Bridge Drive and a quote to fix the irrigation drip lines/cap off at 14048 Lugano Court when a hedge was removed and fence installed.

ELEVENTH ORDER OF BUSINESS

**Presentation of Field Inspection
Report with Landscaper's Comments**

Mr. Lucadano provided his comments to the Field Inspection Report dated March 2,

2022.

TWELFTH ORDER OF BUSINESS**Presentation of Aquatics Report**

Mr. Hayes presented the Aquatics report.

THIRTEENTH ORDER OF BUSINESS**Staff Reports****A. District Counsel**

No report.

B. District Engineer

Mr. Bellucia indicated he is leaving Florida Design and David Fleeman will be taking over as the District Engineer. Mr. Hayes reviewed the CDD Master Map for irrigation zones. The Board reviewed the Stormwater Needs 20-year Analysis Report and explained the amount of funds needed in the Fiscal Year 2022/2023 budget. The Board requested that the District Engineer use the written report from Faulkner Engineering Services/Geotech for roadway pavement section issues and to provide Mr. Hayes with a quote to resolve all roadway pavement sections in the old areas of the road conditions at Bee Tree Court and Crestlake so they can include the project costs in the Fiscal Year 2022/2023 budget. Mr. Hayes reviewed the Faulkner Engineering report and indicated their findings and their recommendations and two options for the Board's consideration and the Board chose option #2.

C. District Manager Report

Mr. Hayes presented his report to the Board and announced that the next regularly scheduled meeting is April 27, 2022, at 11:00 a.m. at the offices of Rizzetta & Company located at 5844 Old Pasco Road, Suite 100, Wesley Chapel, FL 33544. He informed the Board the general election qualifying period is at noon 6/13-6/17 to submit your paperwork to the Pasco County Supervisor of Elections Office. The next election (Seat 1- Samantha Manning, Seat 2- Linda Ramlot, and Seat 5- Jack Koch) These Board members terms expire November 8, 2022. The Board requested that Mr. Hayes get quotes for message boards and to use the park bench quotes, entry wall/monument pressure washing/painting quotes, pillar wall repair quotes, current cost of the traffic calming speed hump project, shed with electrical and slab permitting, and the gold cart and include these items in the Fiscal Year 2022/2023 budget. The Chair requested that Mr. Hayes use the Reserve Study to add the full amount of funds needed to fully fund the Reserves Fund in the Fiscal Year 2022/2023 budget.

FOURTEENTH ORDER OF BUSINESS**Discussion of Entry Wall/Monument Painting Quotes**

Mr. Hayes provided quotes from Romaner Graphics and Perfect Tone

Paining for the Board's consideration for their Fiscal Year 2022/2023 budget. Ms. Ramlot requested a quote to repair the brick pillars for the Fiscal Year 2022/2023 budget.

FIFTEENTH ORDER OF BUSINESS**Supervisor Requests**

Mr. Brooks requested speed humps along Newport Shores and Sea Bridge from the Opopka entrance. She also suggested the community consider having two message boards and to ask the HOA if they are willing to enter into a cost share agreement for this.

SIXTEENTH ORDER OF BUSINESS**Adjournment**

Mr. Hayes stated that if there was no more business to come before the Board than a motion to adjourn would be in order.

On a Motion by Mr. Koch, seconded by Ms. Ramlot, with all in favor, the Board of Supervisors adjourned the meeting at 1:23 p.m. for the Lakeside Community Development District.

Secretary/Assistant Secretary

Chair/Vice Chair

Tab 5

LAKESIDE COMMUNITY DEVELOPMENT DISTRICT

District Office · Wesley Chapel, Florida · (904) 436-6270

Mailing Address – 3434 Colwell Avenue, Suite 200, Tampa, Florida 33614

www.lakesidecdd.org

Operation and Maintenance Expenditures March 2022 For Board Approval

Attached please find the check register listing the Operation and Maintenance expenditures paid from March 1, 2022 through March 31, 2022. This does not include expenditures previously approved by the Board.

The total items being presented: **\$60,148.00**

Approval of Expenditures:

_____ Chairperson

_____ Vice Chairperson

_____ Assistant Secretary

Lakeside Community Development District

Paid Operation & Maintenance Expenditures

March 1, 2022 Through March 31, 2022

<u>Vendor Name</u>	<u>Check #</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Angel Luis Alvarado	1330	AA021422	Off-Duty State Trooper 02/22	\$ 225.00
Angel Luis Alvarado	1330	AA021922	Off-Duty State Trooper 02/22	\$ 225.00
Angel Luis Alvarado	1350	AA031122	Off-Duty State Trooper 03/22	\$ 225.00
Anthony W Palese	1338	AP020922	Off-Duty State Trooper 02/22	\$ 225.00
Anthony W Palese	1355	AP030922	Off-Duty State Trooper 03/22	\$ 225.00
Arthur F Gartner, Jr	1334	AG021722	Off-Duty State Trooper 02/22	\$ 225.00
Arthur F Gartner, Jr	1344	AG022322	Off-Duty State Trooper 02/22	\$ 225.00
Christina Brooks	1331	CB022322	Board Of Supervisors Meeting 02/23/22	\$ 200.00
Christina Brooks	1362	CB032322	Board Of Supervisors Meeting 03/23/22	\$ 200.00
Faulkner Engineering Services, Inc.	1364	FES14056	Visual Pavement Evaluation 03/22	\$ 1,000.00
Florida Design Consultants, Inc.	1333	43517	Engineering Services 01/22	\$ 937.50
Florida Design Consultants, Inc.	1333	43518	Engineering Services - Traffic Calming 01/22	\$ 800.00
Florida Design Consultants, Inc.	1333	43519	Engineering Services - Stormwater Needs Analysis 01/22	\$ 1,400.00

Lakeside Community Development District

Paid Operation & Maintenance Expenditures

March 1, 2022 Through March 31, 2022

<u>Vendor Name</u>	<u>Check #</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Florida Design Consultants, Inc.	1352	43625	Engineering Services 02/22	\$ 2,200.00
Florida Design Consultants, Inc.	1352	43626	Stormwater Needs Analysis 02/22	\$ 504.00
Gordon G Dexter	1332	GD022322	Board Of Supervisors Meeting 02/23/22	\$ 200.00
Gordon G Dexter	1363	GD032322	Board Of Supervisors Meeting 03/23/22	\$ 200.00
Jack D Hypes	1335	JH020722	Off-Duty State Trooper 02/22	\$ 225.00
Jack D Hypes	1335	JH021322	Off-Duty State Trooper 02/22	\$ 225.00
Jack D Hypes	1345	JH022022	Off-Duty State Trooper 02/22	\$ 225.00
Jack D Hypes	1345	JH022722	Off-Duty State Trooper 02/22	\$ 225.00
Jack D Hypes	1353	JH030122	Off-Duty State Trooper 03/22	\$ 225.00
Jack D Hypes	1353	JH030322	Off-Duty State Trooper 03/22	\$ 225.00
Jack D Hypes	1353	JH030722	Off-Duty State Trooper 03/22	\$ 225.00
Jack William Koch	1336	JK022322	Board Of Supervisors Meeting 02/23/22	\$ 200.00
Jack William Koch	1365	JK032322	Board Of Supervisors Meeting 03/23/22	\$ 200.00

Lakeside Community Development District

Paid Operation & Maintenance Expenditures

March 1, 2022 Through March 31, 2022

<u>Vendor Name</u>	<u>Check #</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
James E LaRose Jr	1337	JL021522	Off-Duty State Trooper 02/22	\$ 225.00
James E LaRose Jr	1347	JL022122	Off-Duty State Trooper 02/22	\$ 225.00
James E LaRose Jr	1347	JL022522	Off-Duty State Trooper 02/22	\$ 225.00
James E LaRose Jr	1354	JL030422	Off-Duty State Trooper 03/22	\$ 225.00
Jeremy R Cohen	1351	JC030122	Off-Duty State Trooper 03/22 Scheduler's Fees	\$ 225.00
Jeremy R Cohen	1351	JC031222	Off-Duty State Trooper 03/22	\$ 225.00
Kutak Rock LLP	1346	3012035	Legal Services 01/22	\$ 3,666.00
Kutak Rock LLP	1366	3023647	Legal Services 02/22	\$ 1,932.50
Linda Ramlot	1340	LR022322	Board Of Supervisors Meeting 02/23/22	\$ 200.00
Linda Ramlot	1368	LR032322	Board Of Supervisors Meeting 03/23/22	\$ 200.00
Pasco County Utilities Services Branch	1339	16198574	Water Utility Service 01/22	\$ 20.62
Pasco County Utilities Services Branch	1367	16337642	Water Utility Service 02/22	\$ 20.62
Poop 911	1349	LS022022	Pet Waste Station Maintenance 02/22	\$ 275.60

Lakeside Community Development District

Paid Operation & Maintenance Expenditures

March 1, 2022 Through March 31, 2022

<u>Vendor Name</u>	<u>Check #</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Poop 911	1356	LSR032022	Pet Waste Can Replacement 03/22	\$ 165.00
RedTree Landscape Systems, LLC	1357	9827	Monthly Landscape Maintenance 03/22	\$ 14,780.00
RedTree Landscape Systems, LLC	1357	9916	Lakemont Drive - Removal Of Juniper And Root System 03/22	\$ 850.00
RedTree Landscape Systems, LLC	1357	9917	Lakemont Drive - Removal Of Juniper And Root System 03/22	\$ 2,500.00
RedTree Landscape Systems, LLC	1369	9931	Cut Back And Clean Up Area 03/22	\$ 4,750.00
Rizzetta & Company, Inc.	1341	INV0000066289	District Management Fees 03/22	\$ 4,301.00
Solitude Lake Management LLC	1359	PI-A00770369	Lake & Pond Maintenance 03/22	\$ 1,665.00
Suncoast Rust Control Inc.	1360	04323	Commercial Monthly Rust Control Service 03/22	\$ 735.00
Times Publishing Company	1343	0000210393 02/16/22	Account #117744 Legal Advertising 02/22	\$ 100.00
Times Publishing Company	1348	0000210700 02/20/22	Account #117744 Legal Advertising 02/22	\$ 235.00
Times Publishing Company	1343	0000210709 02/16/22	Account #117744 Legal Advertising 02/22	\$ 56.80
Timothy J Sleyzak II	1342	TS021122	Off-Duty State Trooper 02/22	\$ 225.00
Timothy J Sleyzak II	1342	TS021822	Off-Duty State Trooper 02/22	\$ 225.00

Lakeside Community Development District

Paid Operation & Maintenance Expenditures

March 1, 2022 Through March 31, 2022

<u>Vendor Name</u>	<u>Check #</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Timothy J Sleyzak II	1358	TS030522	Off-Duty State Trooper 03/22	\$ 225.00
Timothy J Sleyzak II	1358	TS030622	Off-Duty State Trooper 03/22	\$ 225.00
Withlacoochee River Electric Coop., Inc.	1370	032822-wrec	Six Additional Street Lights - Deposit 03/22	\$ 7,787.00
Withlacoochee River Electric Coop., Inc.	1371	8782834	Two Directional Bores For Additional Street Lights 03/22	\$ 1,955.00
Withlacoochee River Electric Coop., Inc.	1361	Electric Summary 02/22	Summary Billing 02/22	<u>\$ 511.36</u>
Report Total				<u>\$ 60,148.00</u>

Tab 6

Lakeside Community Development District
Policy for Commercial Advertising
(adopted ____2022)

1. **Generally; Purpose.** The Lakeside Community Development District (“**District**”) was created pursuant to the provisions of Chapter 190, Florida Statutes and was established to provide for the ownership, operation, maintenance, and provision of various capital facilities and services within its jurisdiction. The purpose of the standards (“**Standards**”) set forth in this policy is to establish a set of guidelines for commercial advertising, whether conducted by the District through its within District facilities or other form of advertising as identified by the District (“**Advertising Medium**”). The fundamental purpose of District advertising is to support the District’s operations that disseminates beneficial information to District residents and paid users about community businesses and services, while at the same time protecting and promoting the health, safety and welfare of District residents and paid users and the residential character of the community.
2. **Application.**
 - (a) In order to place an advertisement in an available Advertising Medium offered by the District, an applicant shall submit to the District a commercial advertising application which shall set forth in writing a complete description of the proposed commercial advertisement, including:
 - i. The name, address and telephone number of the persons applying to advertise within the District; and
 - ii. Complete description of the advertisement, including typography, sizing and actual text. In the alternative, applicants may attach an image of the proposed advertisement to the application.
 - (b) Each applicant shall obtain and attach to the application the written consent for the display of such advertisement of the person having the right to use, and possession of, the advertisement’s content.
 - (c) Any advertising in which the identity of the sponsor is not readily and unambiguously identifiable must include the following phrase to identify the sponsor in clearly visible letters: “Paid for by _____”
 - (d) Each applicant shall enter into an agreement with the District for advertising, which agreement may require the payment of an advertising fee. Any advertising revenues will be used to augment the District’s operating budgets.
 - (e) Applications shall be considered on a first-come, first-served basis and may be denied due to lack of availability of space for advertising, among other reasons.
3. **Prohibited Advertisements.**

- (a) The District's acceptance of advertising does not provide or create a public forum for expression. Rather, as noted, the District's fundamental purpose behind allowing commercial advertisements is to provide funding for the District's operating budgets, to promote community businesses and services, and to protect and promote the health, safety and welfare of District residents and paid users as well as the residential character of the community.
 - (b) In furtherance of that limited purpose, the District retains strict control over the nature of the advertisements accepted, and finds that the following advertisements are not consistent with the limited purpose of the commercial advertisement program and thus shall be prohibited:
 - i. Advertisements promoting obscene material, sexually-explicit material or illegal activities;
 - ii. Advertisements promoting religious or political material;
 - iii. Advertisement promoting alcohol or tobacco products; firearms; adult/mature rated films, television, or video games; or adult entertainment facilities or services;
 - iv. Advertisements that are false or misleading;
 - iv. Advertisements that contain any material that is an infringement of copyright, trademark or service mark, or is otherwise unlawful or illegal;
 - v. Advertisements that promote any activity or product that is illegal under federal, state, or local law;
 - vi. Advertisements that contain any profane language, or portray images or descriptions of graphic violence;
 - vii. Advertisements that are demeaning or disparaging toward an individual, group of individuals, entity, or entities;
 - ix. Advertisements promoting activities/services that the District offers (unless such advertisements are created by the District); and
 - x. Advertisements that are harmful or disruptive to the District.
4. **No Endorsement.** The District's acceptance of an advertisement from an applicant in no way constitutes an endorsement of the advertiser or the content or message of the advertisement. In the District's discretion, advertisements may be asked, or in certain of the Advertising Medium all advertisements may be required, to include language that states: This advertisement is not endorsed or sponsored by the District.
5. **Severability.** If any section, paragraph, clause or provision of this policy shall be held to be invalid or ineffective for any reason, the remainder of this policy shall continue in full force and effect, it being expressly hereby found and declared that the remainder of this policy would have been adopted despite the invalidity or ineffectiveness of such section, paragraph, clause or provision.
6. **Reservation of Rights.** The District reserves the right to suspend, modify or revoke the application of any of the Standards in this policy as the District's Board deems necessary

in its sole discretion to comply with legal mandates, to accommodate the primary purpose of this policy, or otherwise to further serve the best interests of the District.

Exhibit A

Advertising Rates

All rates herein may be increased by a maximum of ten (10%) percent per year without the further need for a ratemaking hearing.

Commented [WAC1]: If you want to adopt rates, must go through a ratemaking public hearing

Rates adopted _____, 2022

Tab 7

LAKESIDE COMMUNITY DEVELOPMENT DISTRICT

DISTRICT OFFICE · WESLEY CHAPEL, FLORIDA 33544
MAILING ADDRESS · 3434 COLWELL AVENUE · SUITE 200 · TAMPA, FL 33614

April __, 2022

Via Certified Mail and Email Delivery

Jeffrey Thorson, Division President
William Ryan Homes
3925 Coconut Palm Drive, Suite 117
Tampa, FL 33619
jthorson@wmryan.com

James M. Deitch, Director of Land Development
Lennar Corporation
4600 West Cypress Street, Suite 200
Tampa, FL 33607
jim.deitch@lennar.com

John Stream, Construction Manager
Lennar Tampa Division
4600 West Cypress Street, Suite 200
Tampa, FL 33607
John.Stream@Lennar.com

Randy Suarez
Inland Homes
6522 Gunn Highway
Tampa, FL 33625
randys@inlandhomes.com

***Re: Lakeside Community Development District (the “District”) Notice of Trespass
and Associated Damage***

Dear Gentlemen:

On behalf of the District, this letter regards ongoing trespass and associated damage within the District. Specifically, we wanted to put you and your respective companies, as active builders within the Lakeside Community Development District, (“Builders”) on notice of damaged District-owned property (the “Property”). Such damaged Property is a result of Builder unauthorized use of such Property in connection with construction within the community including but not limited to Builder use for staging and storing construction materials and access to adjacent

Builder property (the “Unauthorized Activities”). By way of example, please see attached enclosure which details many areas of damaged landscaping within the Property. The District reserves the right to provide supplemental information regarding additional areas needing work or repairs resulting from Unauthorized Activities.

This letter shall serve as your formal notice to immediately cease and desist conducting any further activities on the Property until such damaged areas are repaired or payment is remitted to District for the cost of conducting such repairs. Any repairs to District Property should be coordinated through the District Manager Rizzetta and Company. Further, please remove all dumpsters or other construction-related items from the District’s right-of-way as such should be used for ingress and egress activities only.

Should you fail to comply with this letter, the District may be forced to pursue other legally available remedies. In that regard, the District expressly reserves its right, including but not limited to the right to seek injunctive relief, monetary damages, attorney’s fees, and any other legally available remedies. Nothing in this letter should be construed to waive any rights the District may have against you with respect to this matter.

Sincerely,

Lynn Hayes
District Manager

Enclosures

Cc: Jack Koch, Chairman
Alyssa Willson, District Counsel
David Fleeman, District Engineer

Tab 8

K:\150\ProjData\Exhibits\Sidewalk Exhibit\2022-04-150_Lakeside_Sidewalk Exhibit.dwg -- Apr 13, 2022 @ 11:16am -- FILEMAN

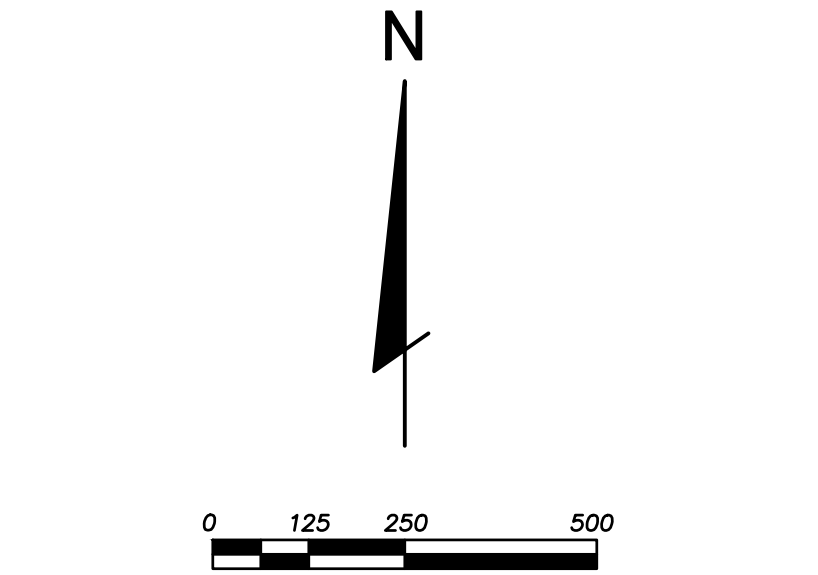
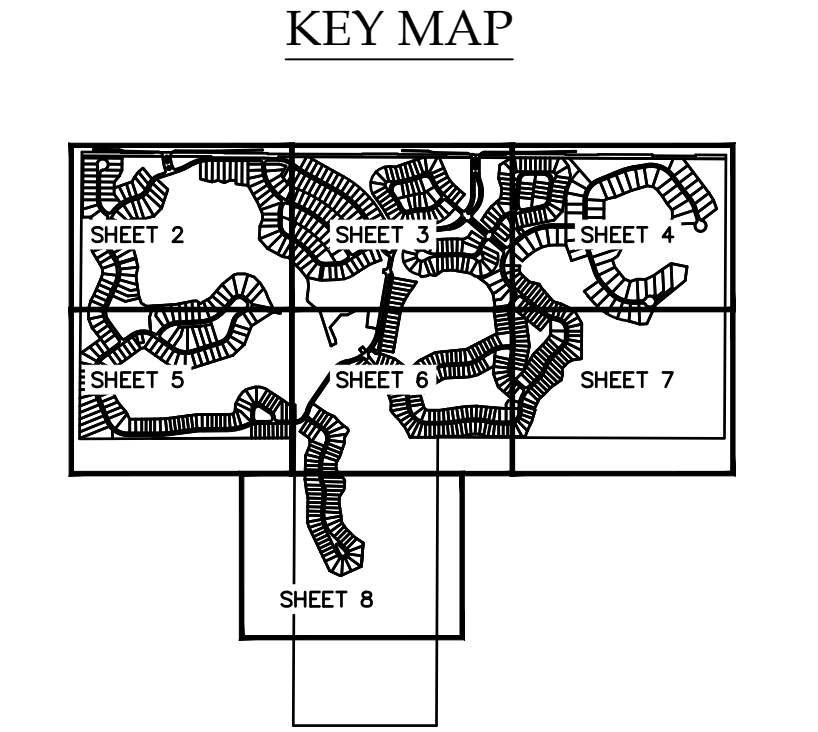



PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

SHEET NAME:
OVERALL
PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**
SITE VISIT DATE:
03/21/2022

- LEGEND**
- | | |
|-----------------------------|---|
| NEWPORT SHORES DRIVE | = STREET NAME |
| 13442 | = ADDRESS |
| | = EXISTING SIDEWALK |
| | = PROPOSED SIDEWALK BY HOME BUILDER (HOMES NOT COMPLETED) |
| | = MISSING SIDEWALK (HOME CONSTRUCTION COMPLETED) |
| | = MISSING SIDEWALK RAMP |

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET





**FLORIDA DESIGN
CONSULTANTS, INC.**
THINK IT. ACHIEVE IT.

20525 AMBERFIELD DRIVE, SUITE 201, LAND O' LAKES, FLORIDA 34638
PHONE: (727) 849 - 7588 FAX: (727) 849 - 3648 WWW.FLDESIGN.COM

CREATION DATE: 06/11/2021	REVISED DATE: 04/13/2022	DRAWN BY: SLE	SHEET NUMBER: 1 OF 8
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K:\150\ProjData\Exhibits\Sidewalk Responsibility Exhibit\2022-04-150_Lakeside_Sidewalk Exhibit.dwg -- Apr 13, 2022 @ 11:16am -- PLEEMAN



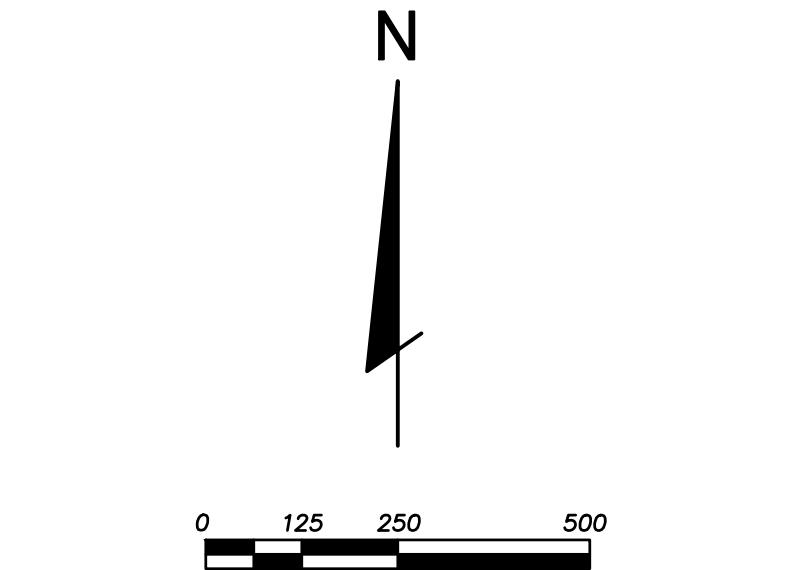
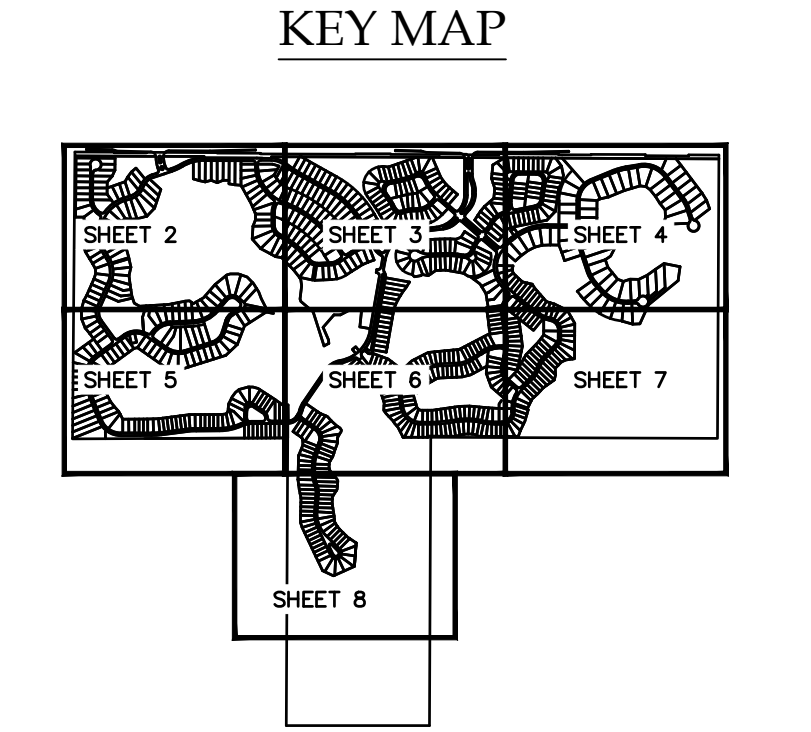
PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

SHEET NAME:
TWO
PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**
SITE VISIT DATE:
03/21/2022

LEGEND

NEWPORT SHORES DRIVE	= STREET NAME
13442	= ADDRESS
	= EXISTING SIDEWALK
	= PROPOSED SIDEWALK BY HOME BUILDER (HOMES NOT COMPLETED)
	= MISSING SIDEWALK (HOME CONSTRUCTION COMPLETED)
	= MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET

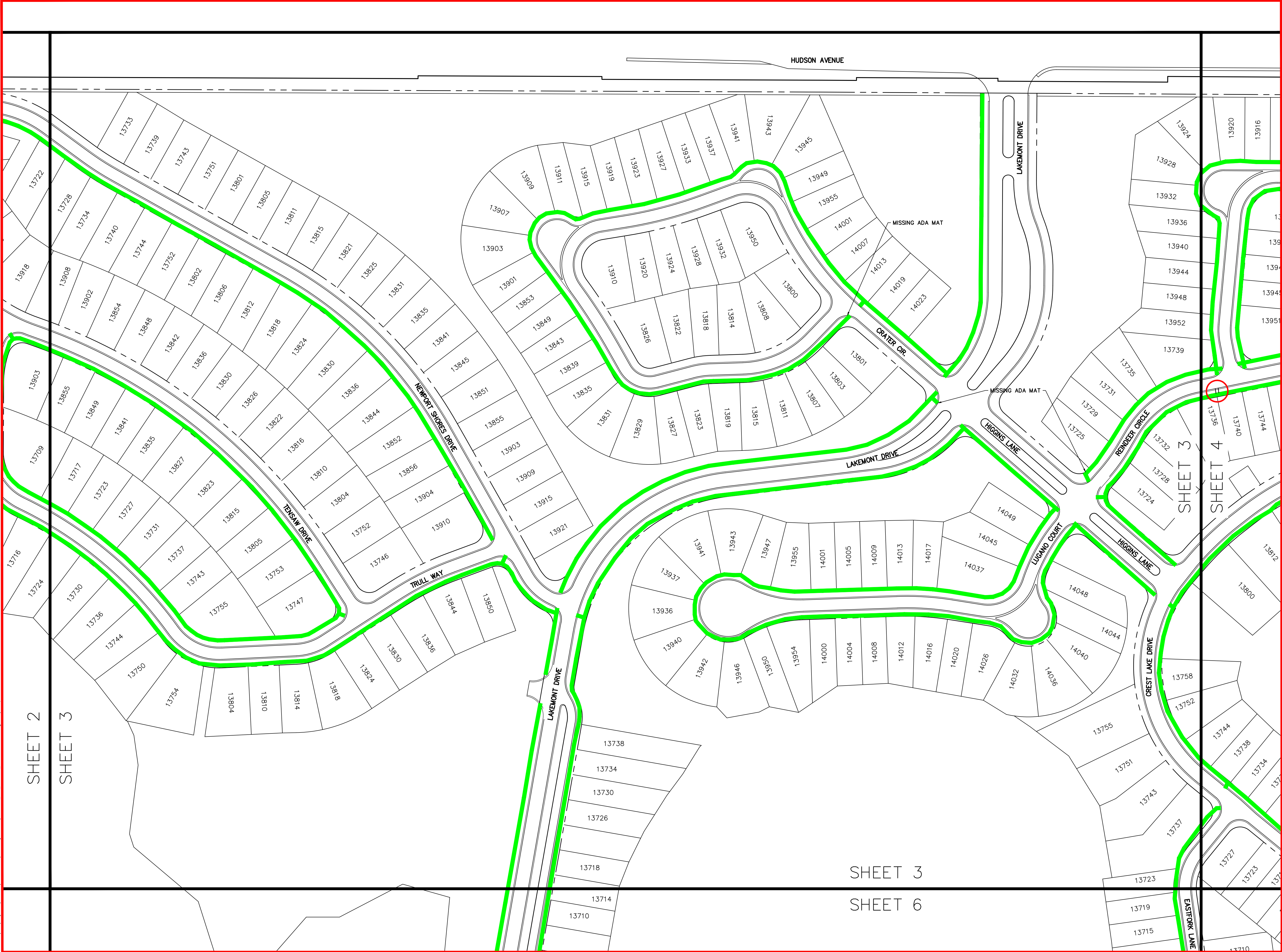


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CREATION DATE: 06/11/2021	REVISED DATE: 04/13/2022	DRAWN BY: SLE	SHEET NUMBER: 2 OF 8
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PROJECT NAME:

UPDATED LAKESIDE CDD SIDEWALK EXHIBIT

SHEET NAME:

THREE

PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**

SITE VISIT DATE:
03/21/2022

LEGEND

NEWPORT SHORES DRIVE

13442

= STREET NAME

= ADDRESS

= EXISTING SIDEWALK

= PROPOSED SIDEWALK BY HOME
BUILDER (HOMES NOT COMPLETED)

= MISSING SIDEWALK (HOME
CONSTRUCTION COMPLETED)

= MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT
SHOWN ON THIS SET

KEY MAP

N

0

125

250

500

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CREATION DATE: 06/11/2021	REVISED DATE: 04/13/2022	DRAWN BY: SLE	SHEET NUMBER: 3 OF 8
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PROJECT NAME:

UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT

SHEET NAME:

FOUR


PREPARED FOR:
LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT


SITE VISIT DATE:
03/21/2022


LEGEND


NEWPORT SHORES DRIVE = STREET NAME

13442 = ADDRESS

 = EXISTING SIDEWALK

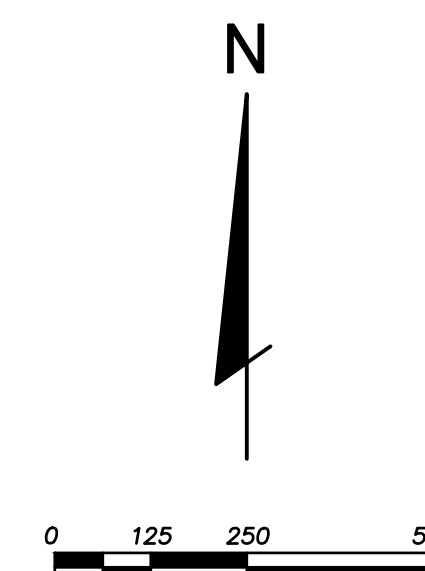
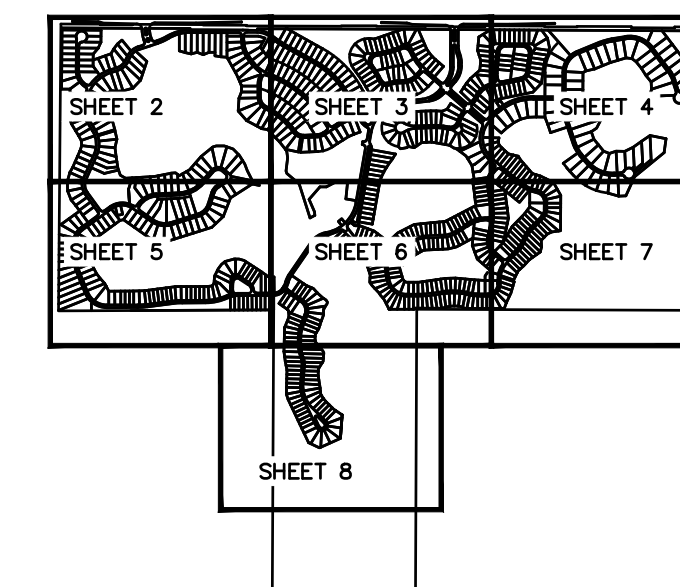
 = PROPOSED SIDEWALK BY HOME BUILDER (HOMES NOT COMPLETED)

 = MISSING SIDEWALK (HOME CONSTRUCTION COMPLETED)

 = MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT
SHOWN ON THIS SET

KEY MAP

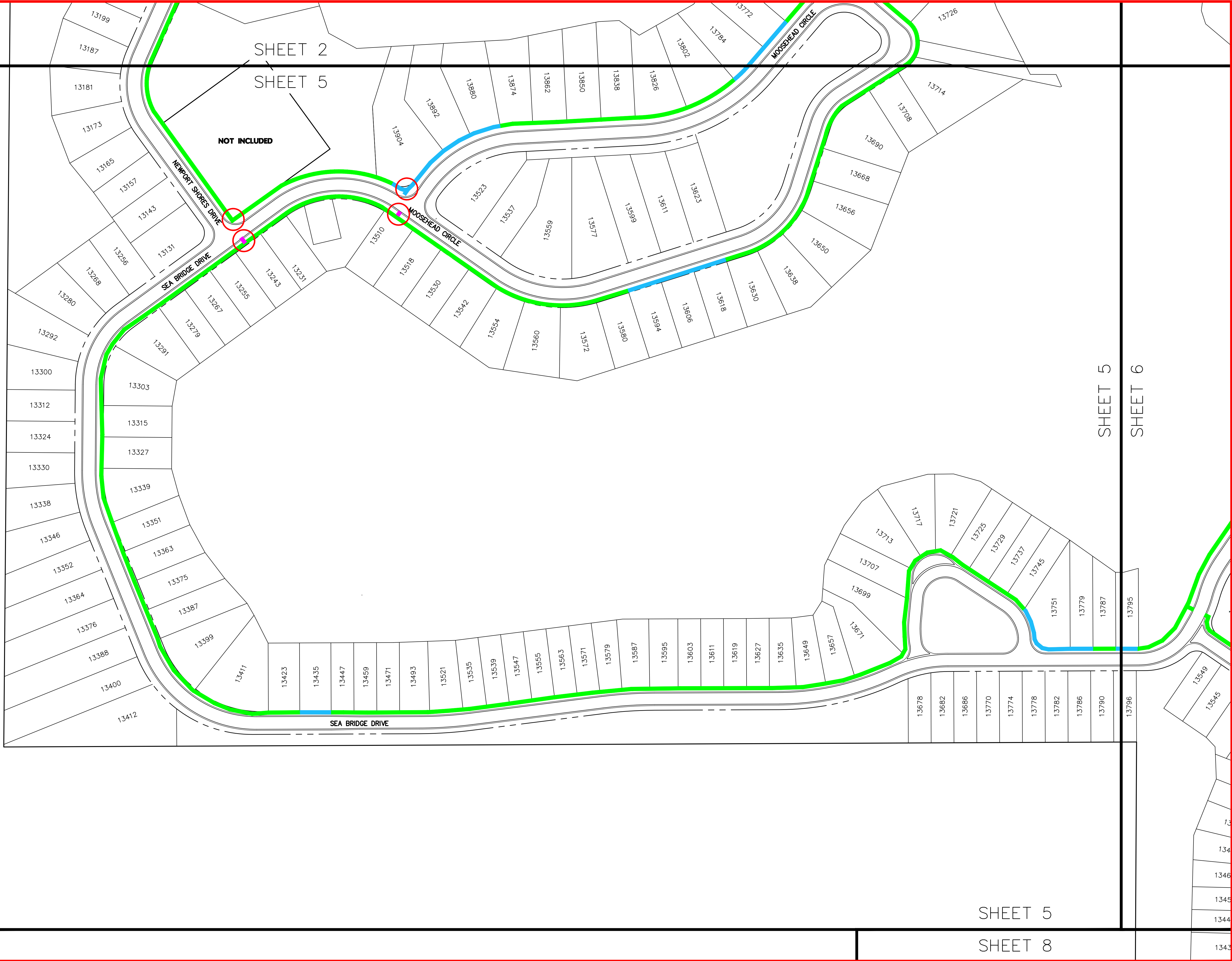


20525 AMBERFIELD DRIVE, SUITE 201, LAND O' LAKES, FLORIDA 34639
PHONE: (727) 849-7588 FAX: (727) 848-3648 WWW.EIDDESIGN.COM

CREATION DATE:	REVISED DATE:	DRAWN BY:	SHEET NUMBER:
06/11/2021	04/13/2022	SLE	4 OF 8

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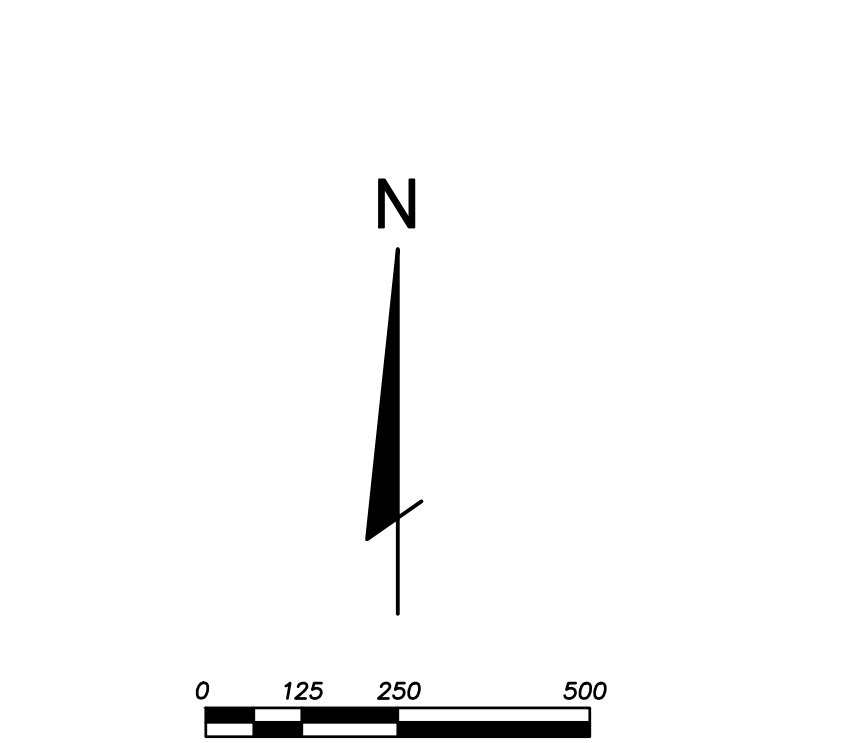
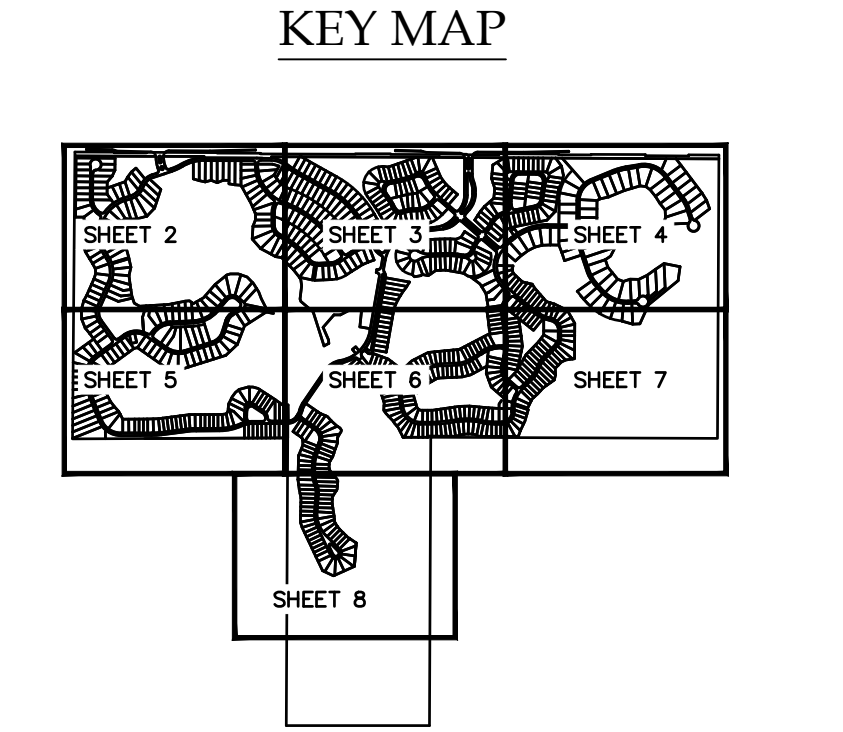


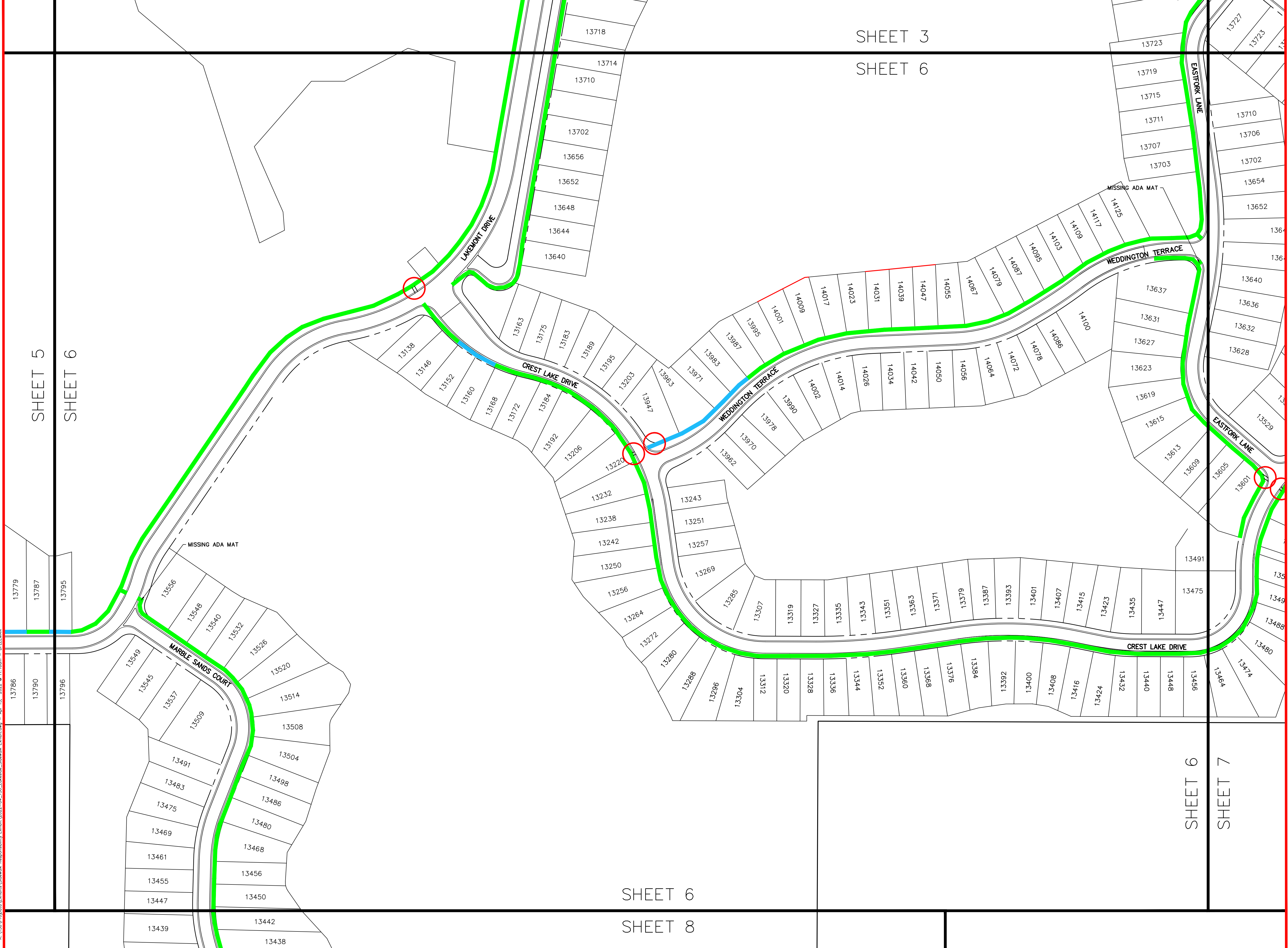
PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

SHEET NAME:
FIVE
PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**
SITE VISIT DATE:
03/21/2022

- LEGEND**
- NEWPORT SHORES DRIVE** = STREET NAME
 - 13442 = ADDRESS
 - [Green Line] = EXISTING SIDEWALK
 - [Blue Line] = PROPOSED SIDEWALK BY HOME BUILDER (HOMES NOT COMPLETED)
 - [Pink Line] = MISSING SIDEWALK (HOME CONSTRUCTION COMPLETED)
 - [Red Circle] = MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET





PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

SHEET NAME:
SIX

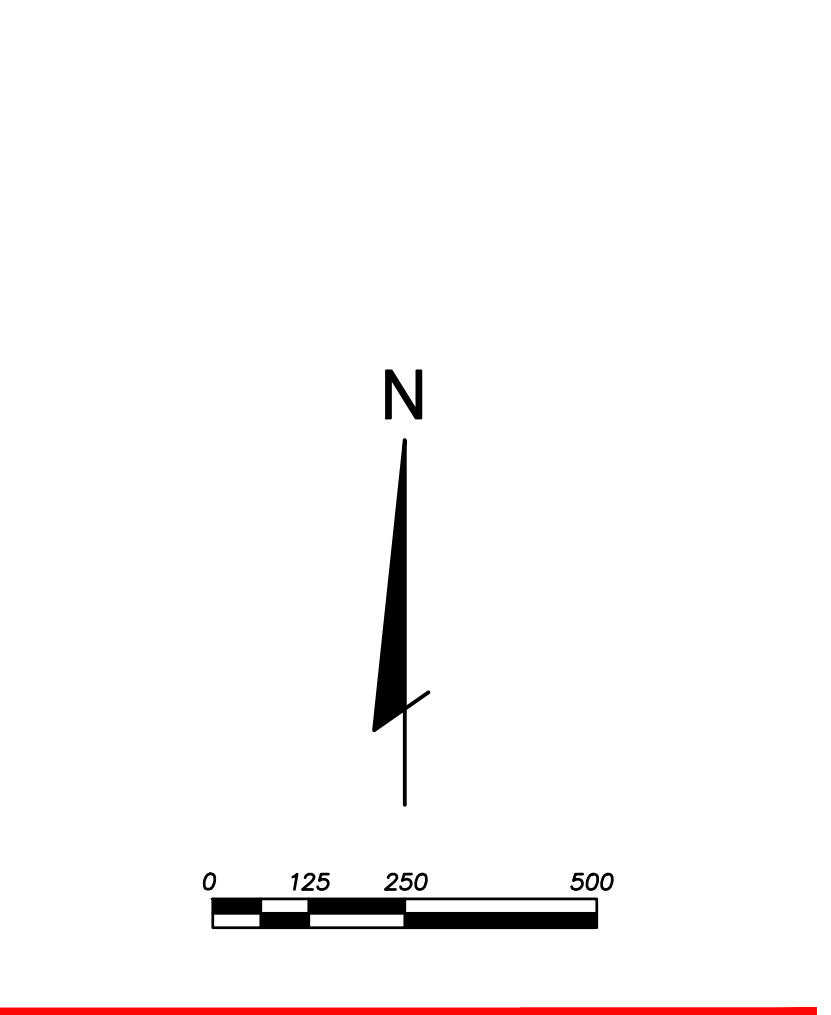
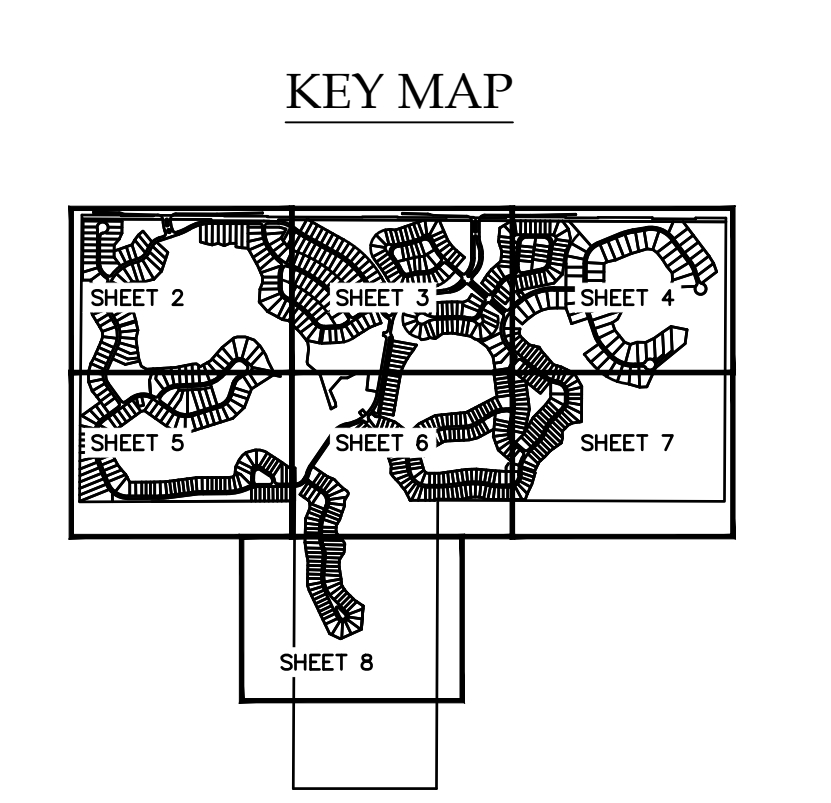
PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**

SITE VISIT DATE:
03/21/2022

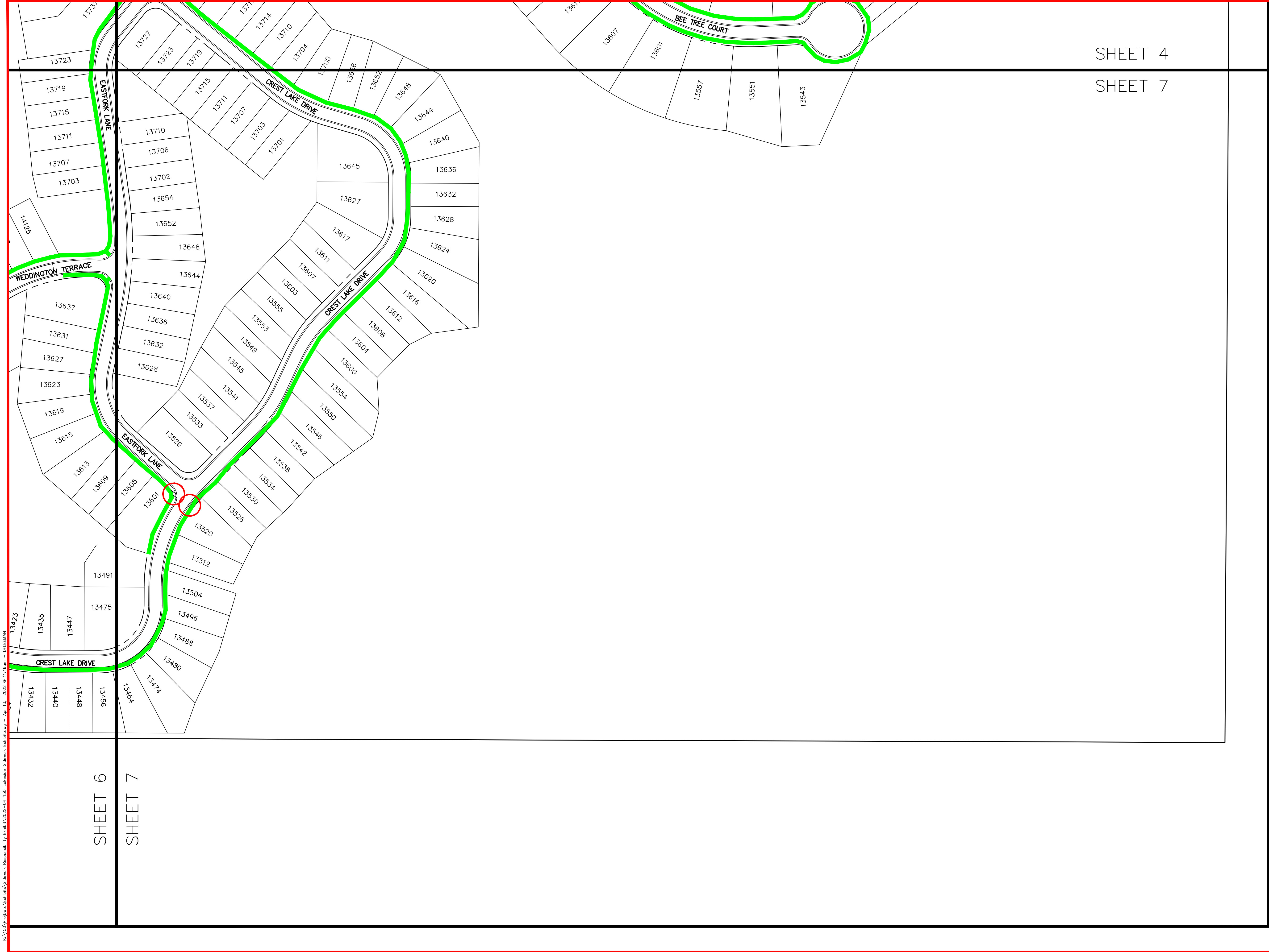
LEGEND

NEWPORT SHORES DRIVE	= STREET NAME
13442	= ADDRESS
	= EXISTING SIDEWALK
	= PROPOSED SIDEWALK BY HOME BUILDER (HOMES NOT COMPLETED)
	= MISSING HOME SIDEWALK (HOME CONSTRUCTION COMPLETED)
	= MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET



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SHEET 4

SHEET 7

SHEET 6

SHEET 7

PROJECT NAME:

UPDATED LAKESIDE CDD SIDEWALK EXHIBIT

SHEET NAME:

SEVEN

PREPARED FOR:
LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT

SITE VISIT DATE:
03/21/2022

LEGEND

NEWPORT SHORES DRIVE

13442

= STREET NAME

= ADDRESS

= EXISTING SIDEWALK

= PROPOSED SIDEWALK BY HOME
BUILDER (HOMES NOT COMPLETED)

= MISSING SIDEWALK (HOME
CONSTRUCTION COMPLETED)

= MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT
SHOWN ON THIS SET

KEY MAP

N

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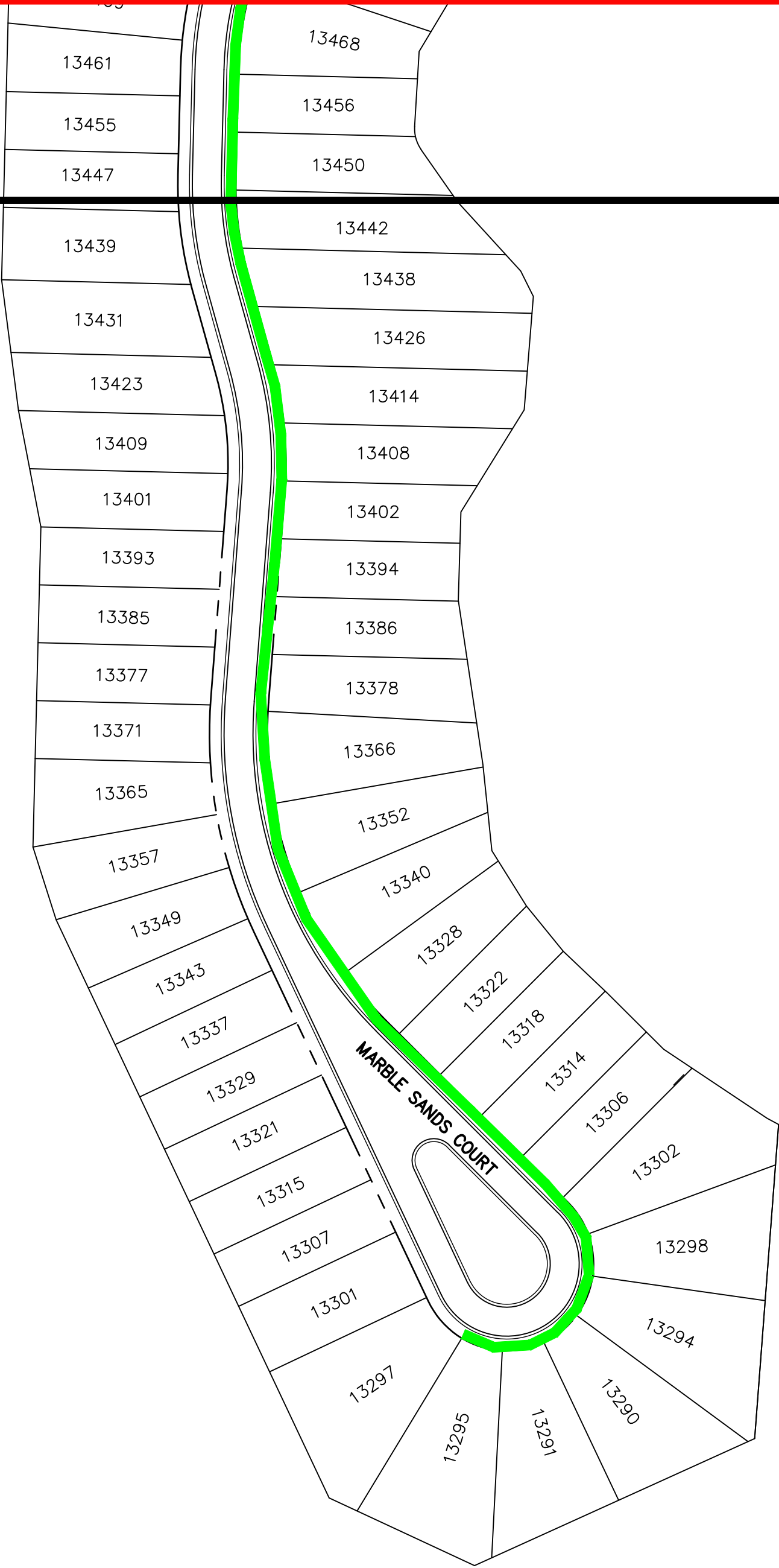
CREATION DATE: 06/11/2021	REVISED DATE: 04/13/2022	DRAWN BY: SLE	SHEET NUMBER: 7 OF 8
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SHEET 5

SHEET 8



SHEET 6

SHEET 8

PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

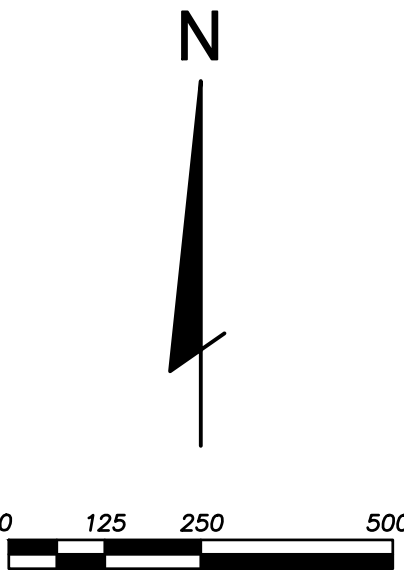
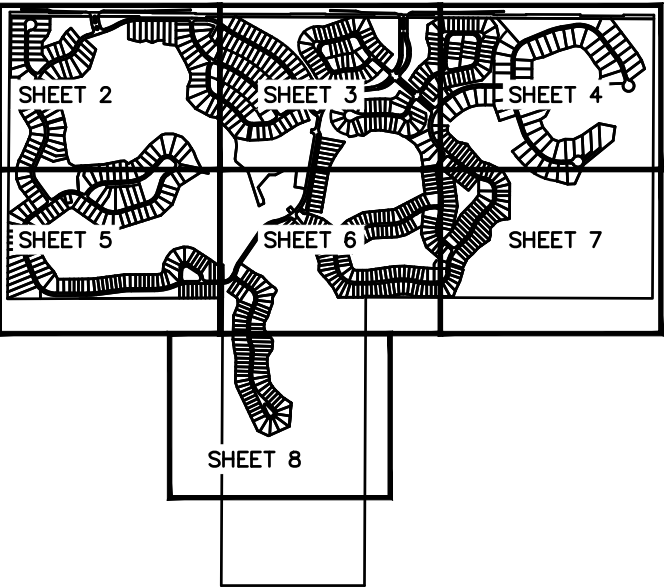
SHEET NAME:
EIGHT
PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**
SITE VISIT DATE:
03/21/2022

LEGEND

- NEWPORT SHORES DRIVE** = STREET NAME
13442 = ADDRESS
[Green line] = EXISTING SIDEWALK
[Blue line] = PROPOSED SIDEWALK BY HOME BUILDER (HOMES NOT COMPLETED)
[Purple line] = MISSING SIDEWALK (HOME CONSTRUCTION COMPLETED)
[Red circle] = MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET

KEY MAP



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CREATION DATE:	REVISED DATE:	DRAWN BY:	SHEET NUMBER:
06/11/2021	04/13/2022	SLE	8 OF 8

Proposal includes the missing elements shown on the 'Updated Lakeside CDD Sidewalk Exhibit' – dated 3/21/2022.

Including:

- 'Proposed Sidewalk by Home Builder - homes not yet complete'
- Missing Sidewalk - home construction completed
- Missing Sidewalk Ramp and missing tactile warning surface

PROPOSAL

Lakeside CDD

Sidewalk ADA Improvements

4/19/2022

**Construct various ADA Compliance improvements to
sidewalks as outlined in 11/11/21 Field Report provided
by District Engineer.**

Photo 1	6'x8' panel/ADA mat	replace	\$1,250
Photo 2	12' x 6' driveway	replace	\$1,440
Photo 3	Cracked Panel	replace	\$400
Photo 4	Damaged curb	repair	\$100
Photo 5	Cracked Panel	replace	\$400
Photo 6	Lifted Panel	replace	\$500
Photo 7	Lifted Panel	replace	\$500
Photo 8	Cracked Curb	replace	\$600
Photo 9	Lifted Panel	replace	\$500
Photo 10			NA
Photo 11	Cracked/Lifted Panel	replace	\$500
Photo 12	Lifted Panel	replace	\$500
Photo 13	Lifted Panel	replace	\$500
Photo 14	Lifted Panel	replace	\$500
Photo 15	ADA mat		\$250
Photo 16	ADA mat		\$250
Photo 17	ADA mat		\$250
Photo 18	ADA mat		\$250
Photo 19	ADA mat		\$250
Photo 20	ADA mat		\$250
Photo 21	ADA mat		\$250
Photo 22	ADA mat		\$250
Photo 23	ADA mat		\$250
Photo 24	ADA mat		\$250
Photo 25	ADA mat		\$250
Photo 26	Re-set Stop sign		\$150

Crest Lake/Lakemont	Ramp/mat	\$810
Crest Lake/Weddington	Ramp/mat	\$550
SE Crest Lake/Eastfork	Ramp/mat	\$850
SW Crest Lake/Eastfork	Ramp/mat	\$650
Reindeer/Reindeer	Ramp/mat	\$1,270
Nesbit/Newport Shores	Ramp/mat	\$950
Nesbit/Newport Shores	Ramp/mat	\$950

Sub-Total \$16,620

Site Masters of Florida, LLC
5551 Bloomfield Blvd.
Lakeland, FL 33810
Phone: (813) 917-9567
Email: tim.sitemastersofflorida@yahoo.com

PROPOSAL

Lakeside CDD

Sidewalk ADA Improvements

4/19/2022

ADDITIONAL - Scope of work Items

Crest Lake/Weddington - may need 4 panels replaced for slope

ADD \$1,200

Reindeer/Reindeer - mailbox needs to be moved

ADD \$500

Nesbit/Newport Shores - valve boxes in sidewalk to be adjusted

ADD \$300

Construct sidewalks at 3 completed homes (\$2400/each)

ADD \$7,200

Construct sidewalks at 21 un-completed homes (\$2000/each)

ADD \$42,000

Sub-Total \$51,200

(Previous page) Sub-Total \$16,620

TOTAL \$67,820

Proposal includes the missing elements shown on the 'Updated Lakeside CDD Sidewalk Exhibit' – dated 3/21/2022.

Including:

- Missing Sidewalk - home construction completed
- Missing Sidewalk Ramp and missing tactile warning surface

PROPOSAL

Lakeside CDD

Sidewalk ADA Improvements

4/19/2022

**Construct various ADA Compliance improvements to
sidewalks as outlined in 11/11/21 Field Report provided
by District Engineer.**

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Photo 2	12' x 6' driveway	replace	\$1,440
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Photo 4	Damaged curb	repair	\$100
Photo 5	Cracked Panel	replace	\$400
Photo 6	Lifted Panel	replace	\$500
Photo 7	Lifted Panel	replace	\$500
Photo 8	Cracked Curb	replace	\$600
Photo 9	Lifted Panel	replace	\$500
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Photo 14	Lifted Panel	replace	\$500
Photo 15	ADA mat		\$250
Photo 16	ADA mat		\$250
Photo 17	ADA mat		\$250
Photo 18	ADA mat		\$250
Photo 19	ADA mat		\$250
Photo 20	ADA mat		\$250
Photo 21	ADA mat		\$250
Photo 22	ADA mat		\$250
Photo 23	ADA mat		\$250
Photo 24	ADA mat		\$250
Photo 25	ADA mat		\$250
Photo 26	Re-set Stop sign		\$150

Crest Lake/Lakemont	Ramp/mat	\$810
Crest Lake/Weddington	Ramp/mat	\$550
SE Crest Lake/Eastfork	Ramp/mat	\$850
SW Crest Lake/Eastfork	Ramp/mat	\$650
Reindeer/Reindeer	Ramp/mat	\$1,270
Nesbit/Newport Shores	Ramp/mat	\$950
Nesbit/Newport Shores	Ramp/mat	\$950

Sub-Total \$16,620

Site Masters of Florida, LLC
5551 Bloomfield Blvd.
Lakeland, FL 33810
Phone: (813) 917-9567
Email: tim.sitemastersofflorida@yahoo.com

PROPOSAL

Lakeside CDD

Sidewalk ADA Improvements

4/19/2022

ADDITIONAL - Scope of work Items

Crest Lake/Weddington - may need 4 panels replaced for slope

ADD \$1,200

Reindeer/Reindeer - mailbox needs to be moved

ADD \$500

Nesbit/Newport Shores - valve boxes in sidewalk to be adjusted

ADD \$300

Construct sidewalks at 3 completed homes (\$2400/each)

ADD \$7,200

Sub-Total \$9,200

(Previous page) Sub-Total \$16,620

TOTAL \$25,820

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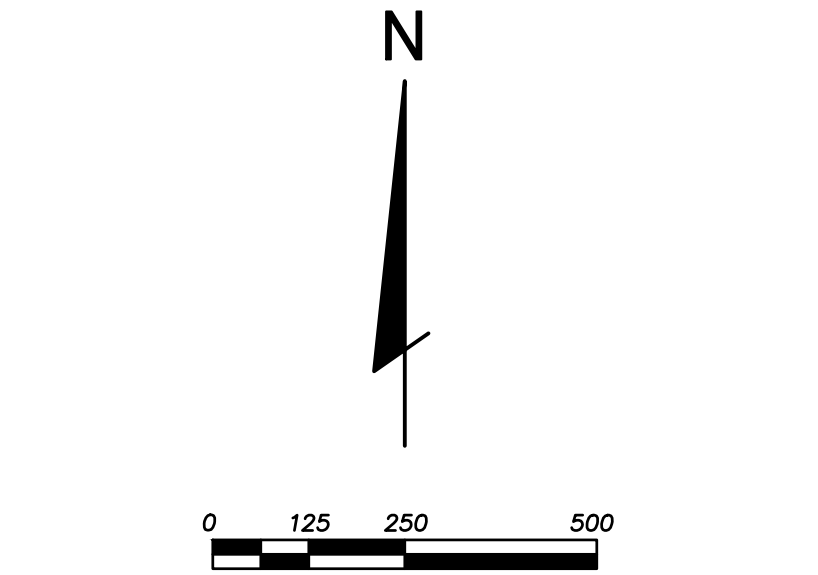
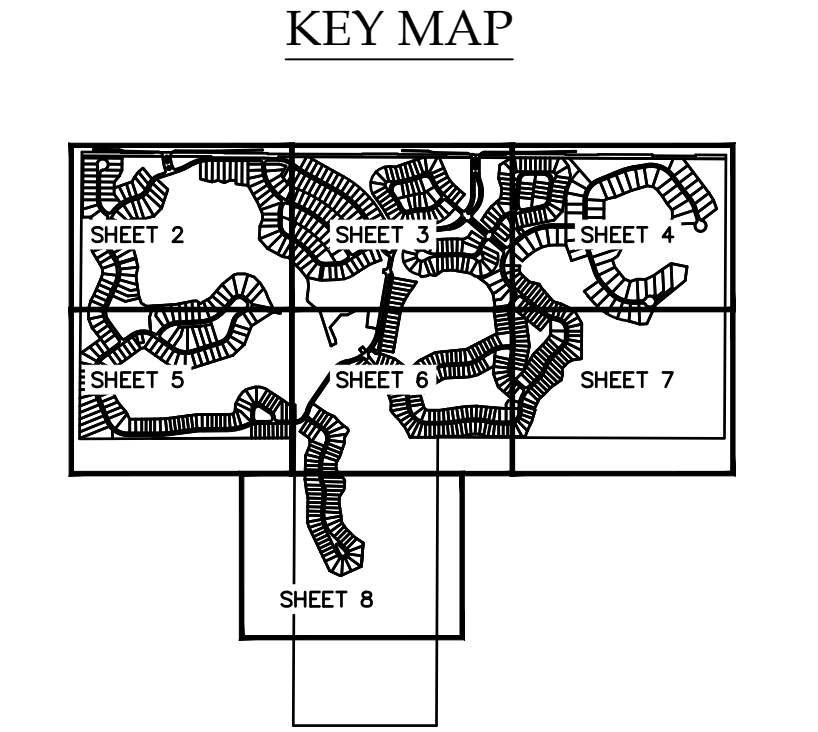
PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**


SHEET NAME:
OVERALL
PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**
SITE VISIT DATE:
03/21/2022

LEGEND

NEWPORT SHORES DRIVE	= STREET NAME
13442	= ADDRESS
	= EXISTING SIDEWALK
	= PROPOSED SIDEWALK BY HOME BUILDER (HOMES NOT COMPLETED)
	= MISSING SIDEWALK (HOME CONSTRUCTION COMPLETED)
	= MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET





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CREATION DATE: 06/11/2021	REVISED DATE: 04/13/2022	DRAWN BY: SLE	SHEET NUMBER: 1 OF 8
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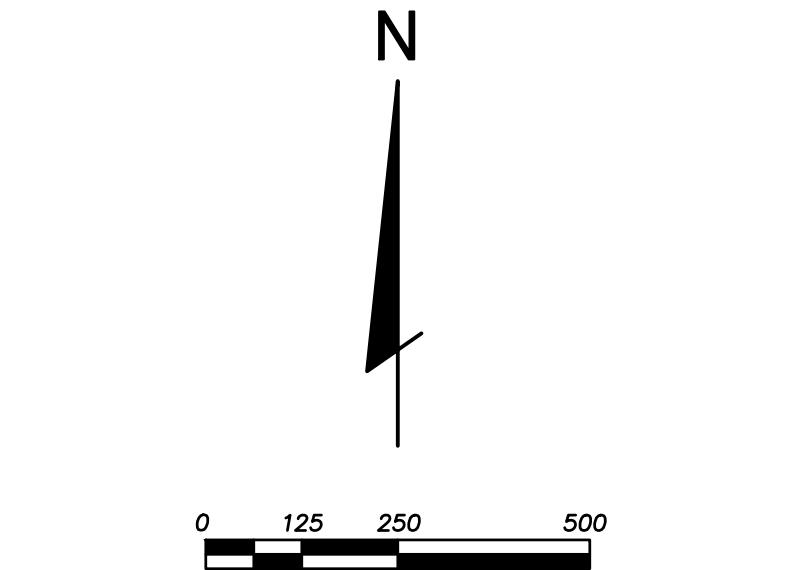
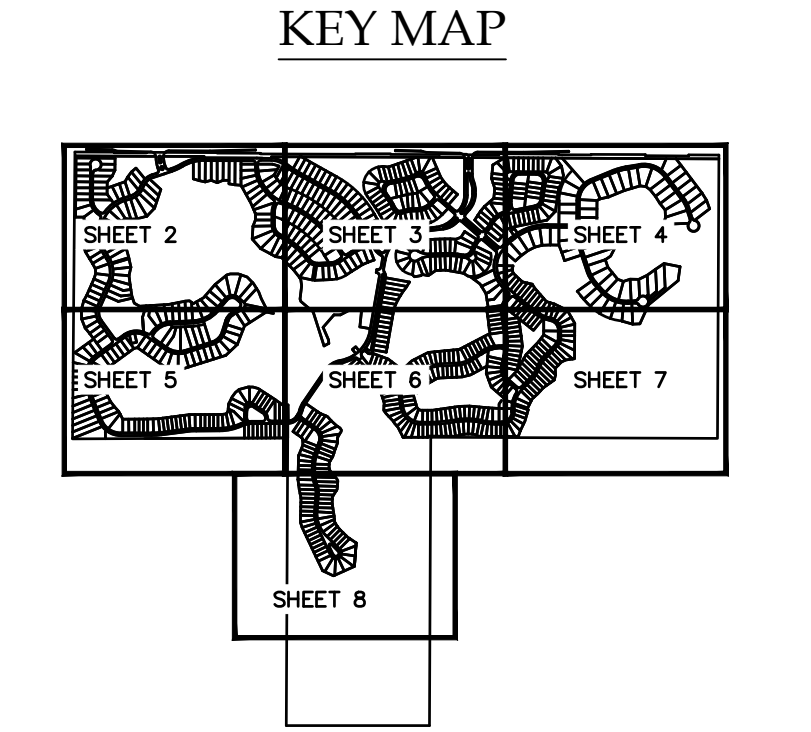
PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

SHEET NAME:
TWO
PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**
SITE VISIT DATE:
03/21/2022

LEGEND

NEWPORT SHORES DRIVE	= STREET NAME
13442	= ADDRESS
	= EXISTING SIDEWALK
	= PROPOSED SIDEWALK BY HOME BUILDER (HOMES NOT COMPLETED)
	= MISSING SIDEWALK (HOME CONSTRUCTION COMPLETED)
	= MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET

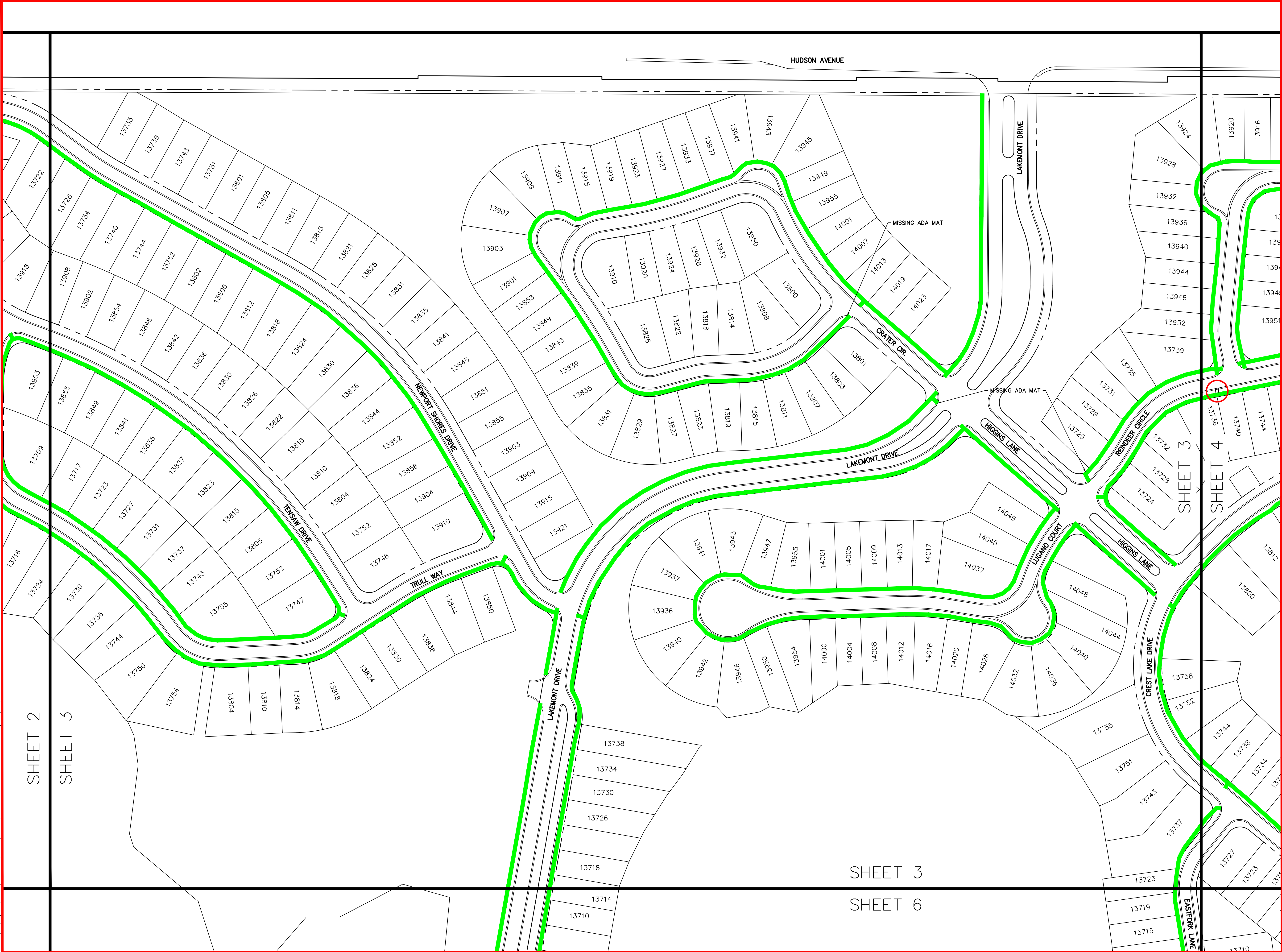


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CREATION DATE: 06/11/2021	REVISED DATE: 04/13/2022	DRAWN BY: SLE	SHEET NUMBER: 2 OF 8
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PROJECT NAME:

UPDATED LAKESIDE CDD SIDEWALK EXHIBIT

SHEET NAME:

THREE

PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**

SITE VISIT DATE:
03/21/2022

LEGEND

NEWPORT SHORES DRIVE

13442

= STREET NAME

= ADDRESS

= EXISTING SIDEWALK

= PROPOSED SIDEWALK BY HOME
BUILDER (HOMES NOT COMPLETED)

= MISSING SIDEWALK (HOME
CONSTRUCTION COMPLETED)

= MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT
SHOWN ON THIS SET

KEY MAP

N

0

125

250

500

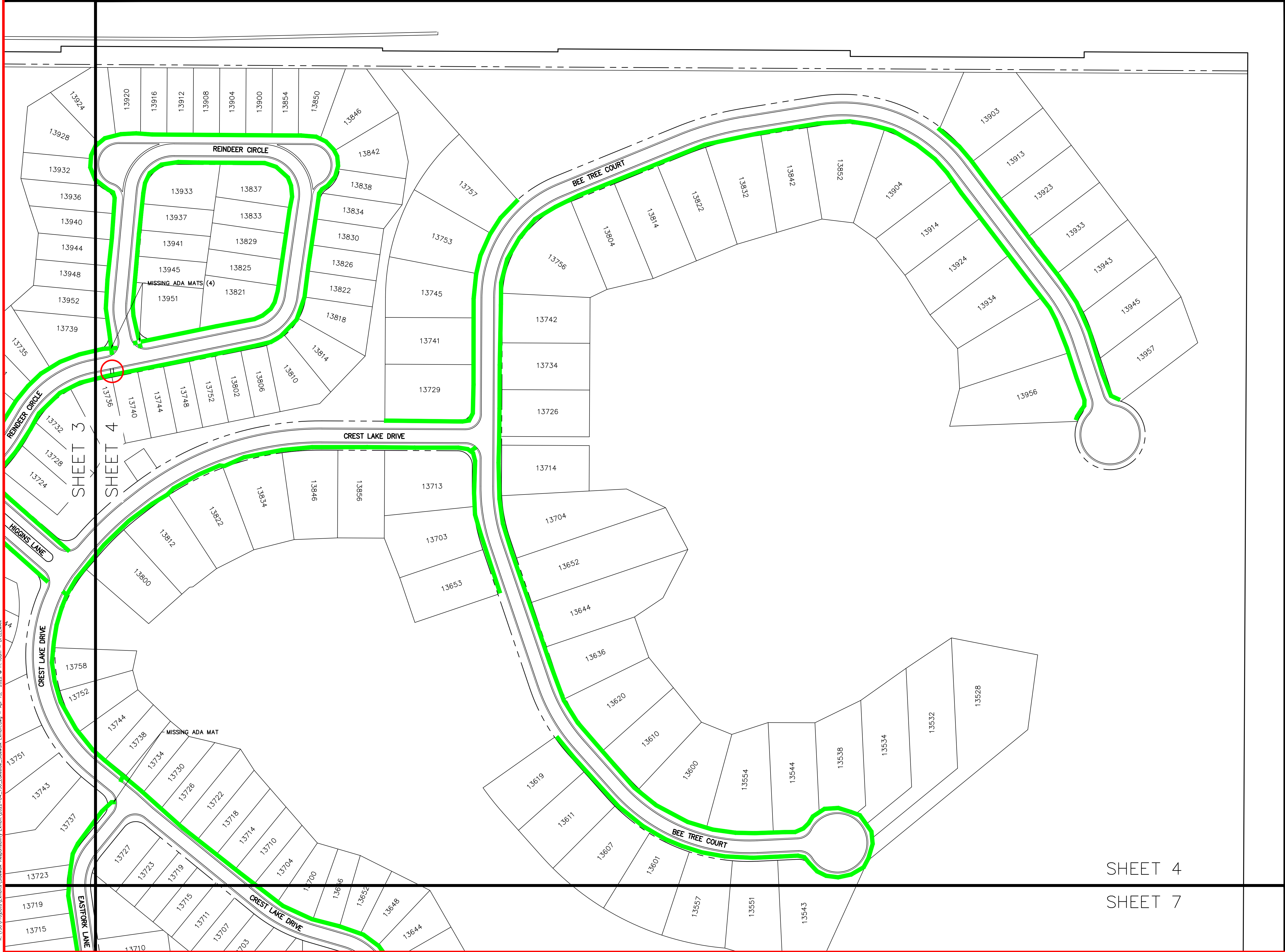
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PHONE: (727) 849 - 7588 FAX: (727) 849 - 3648 WWW.FLDESIGN.COM

CREATION DATE: 06/11/2021	REVISED DATE: 04/13/2022	DRAWN BY: SLE	SHEET NUMBER: 3 OF 8
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PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

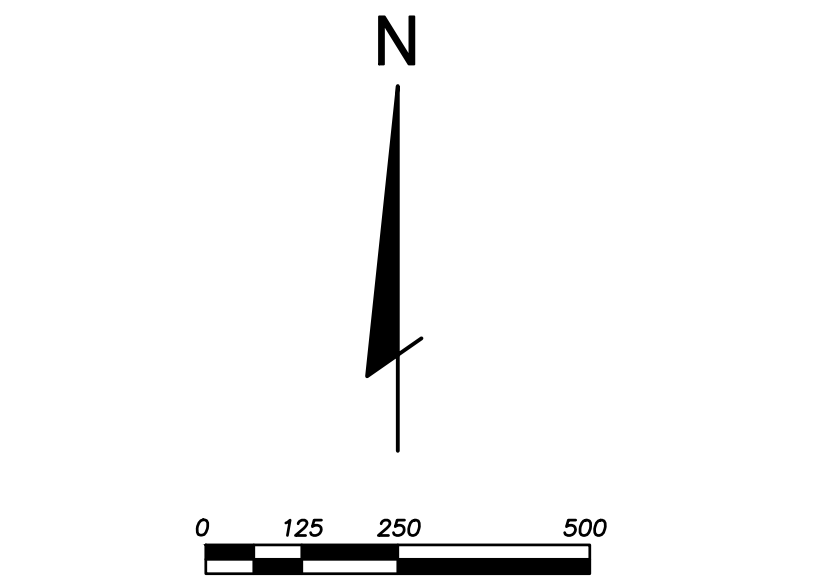
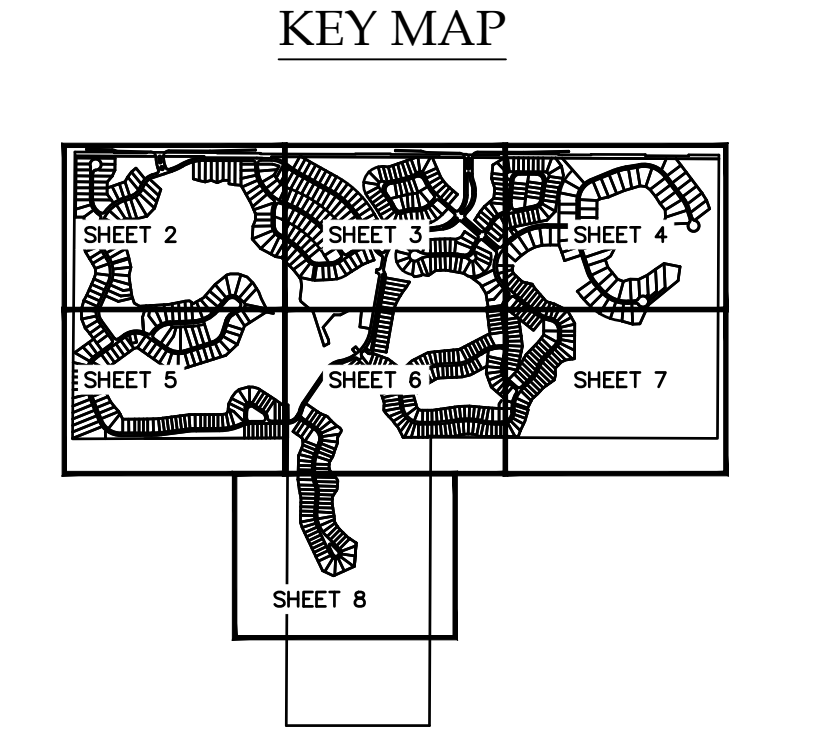
SHEET NAME:
FOUR

PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**

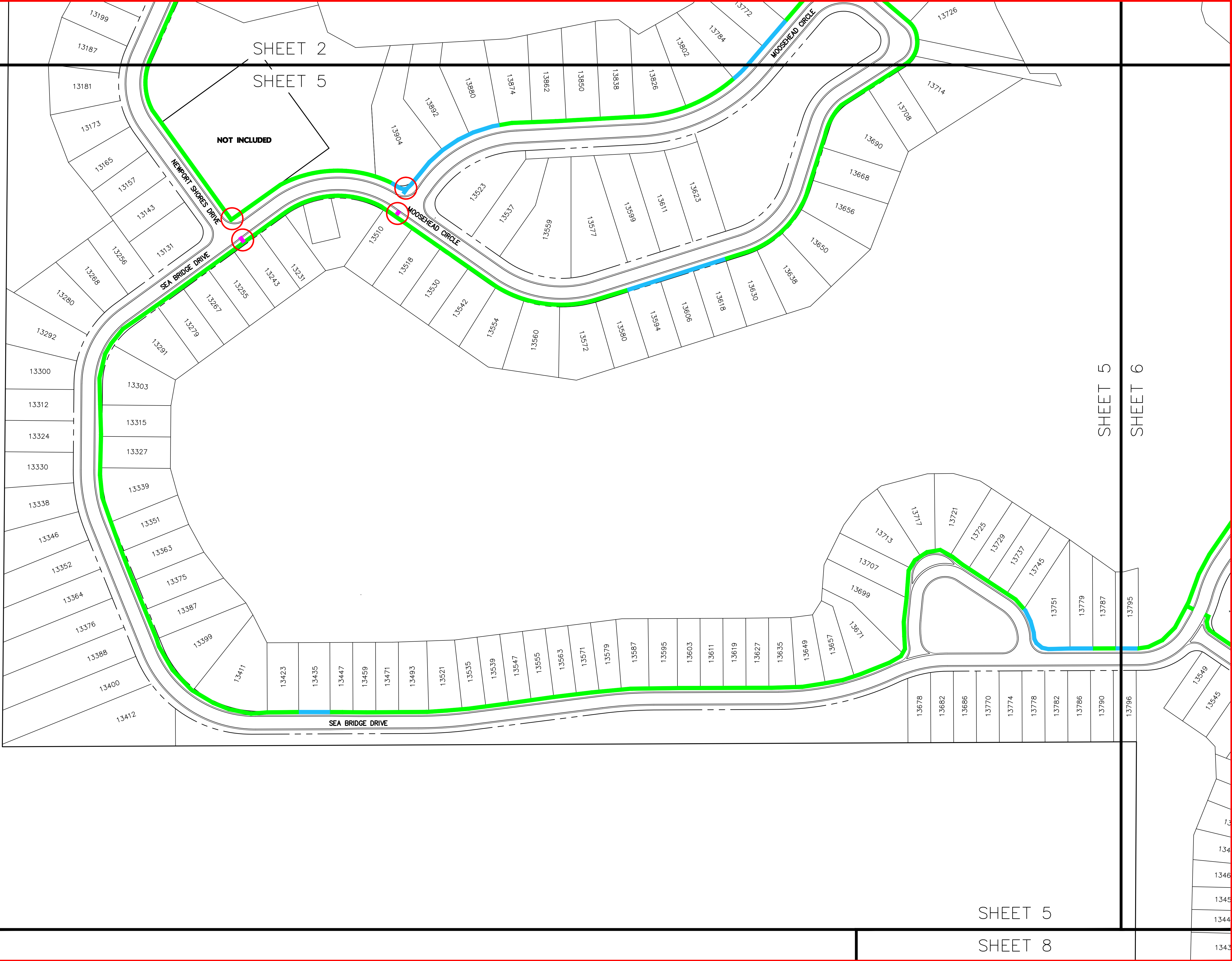
SITE VISIT DATE:
03/21/2022

- LEGEND**
- NEWPORT SHORES DRIVE** = STREET NAME
13442 = ADDRESS
- = EXISTING SIDEWALK
- = PROPOSED SIDEWALK BY HOME
BUILDER (HOMES NOT COMPLETED)
- = MISSING SIDEWALK (HOME
CONSTRUCTION COMPLETED)
- = MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT
SHOWN ON THIS SET



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PROJECT NAME:

UPDATED LAKESIDE CDD SIDEWALK EXHIBIT

SHEET NAME:

FIVE

PREPARED FOR:

LAKESIDE COMMUNITY DEVELOPMENT DISTRICT

SITE VISIT DATE:

03/21/2022

LEGEND

NEWPORT SHORES DRIVE

13442

= STREET NAME

= ADDRESS

= EXISTING SIDEWALK

= PROPOSED SIDEWALK BY HOME BUILDER (HOMES NOT COMPLETED)

= MISSING SIDEWALK (HOME CONSTRUCTION COMPLETED)

= MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET

KEY MAP

N

0 125 250 500

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20525 AMBERFIELD DRIVE, SUITE 201, LAND O' LAKES, FLORIDA 34638

PHONE: (727) 849 - 7588 FAX: (727) 849 - 3648 WWW.FLDESIGN.COM

CREATION DATE:

06/11/2021

REVISED DATE:

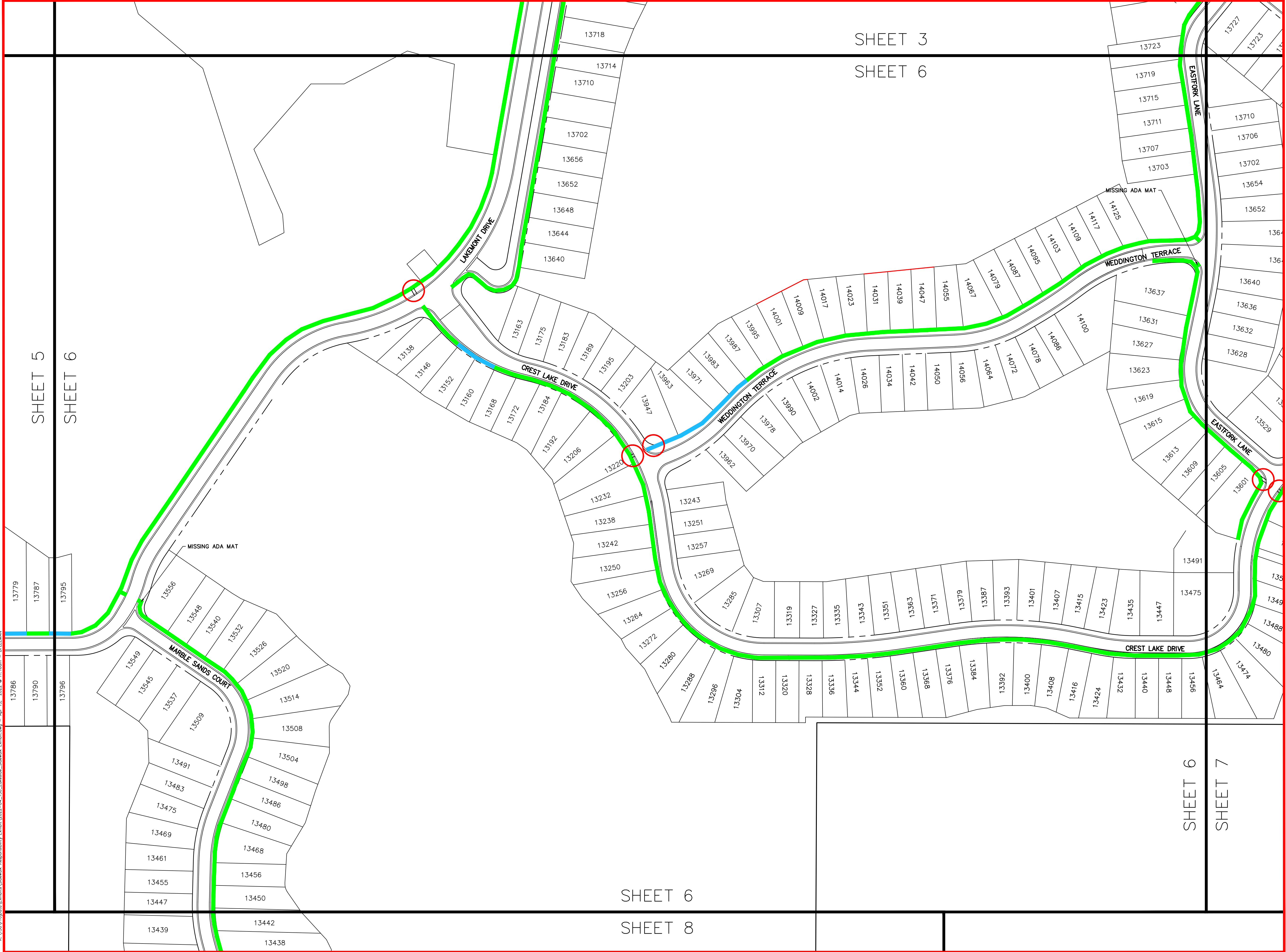
04/13/2022

DRAWN BY:

SLE

SHEET NUMBER:

5 OF 8



PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

SHEET NAME:
SIX

PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**

SITE VISIT DATE:
03/21/2022

LEGEND

NEWPORT SHORES DRIVE

13442

= STREET NAME

= ADDRESS

= EXISTING SIDEWALK

= PROPOSED SIDEWALK BY HOME
BUILDER (HOMES NOT COMPLETED)

= MISSING HOME SIDEWALK (HOME
CONSTRUCTION COMPLETED)

= MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT
SHOWN ON THIS SET

KEY MAP

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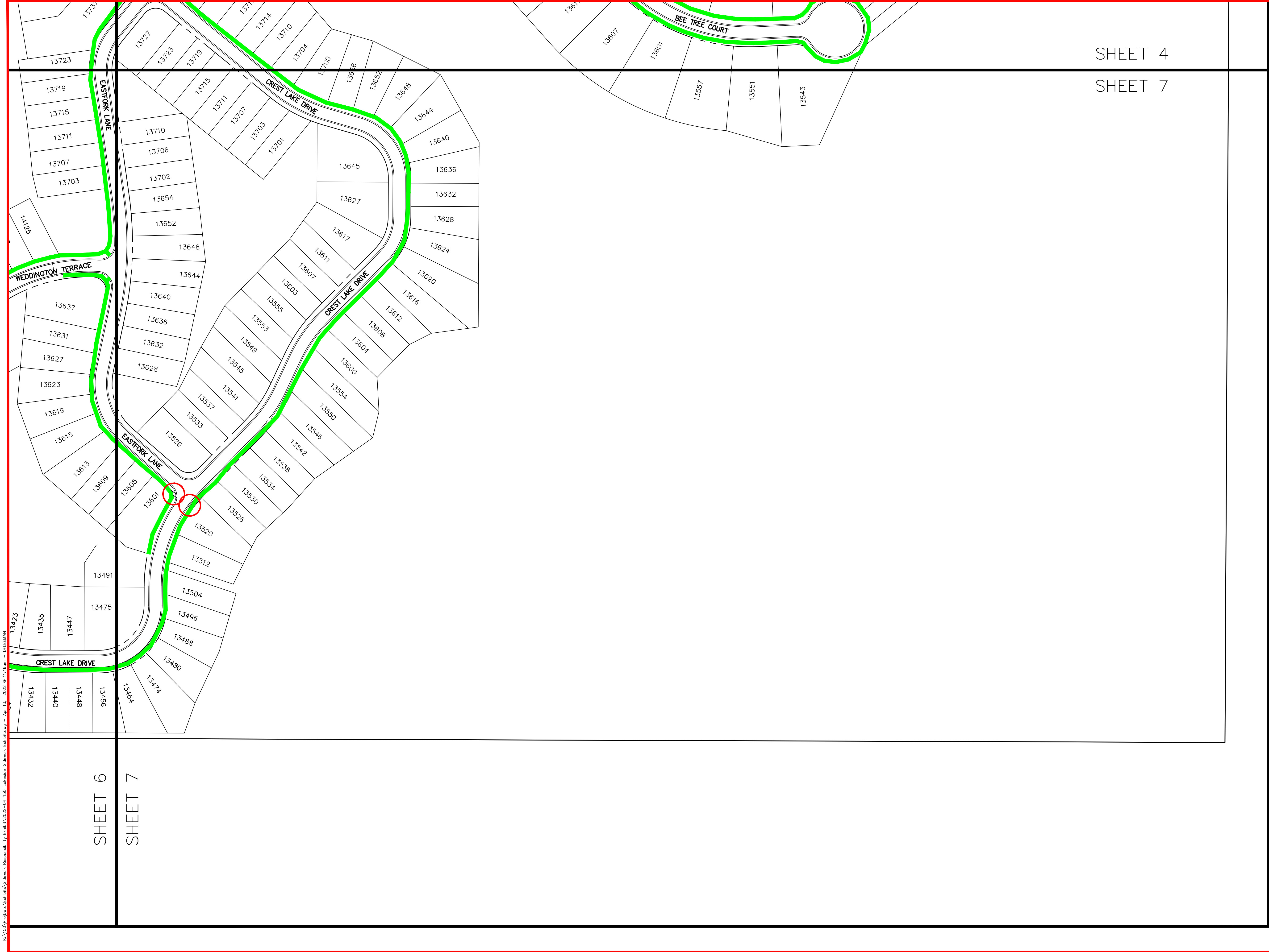
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CREATION DATE: 06/11/2021	REVISED DATE: 04/13/2022	DRAWN BY: SLE	SHEET NUMBER: 6 OF 8
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SHEET 4

SHEET 7

SHEET 6

SHEET 7

PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

SHEET NAME:
SEVEN

PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**

SITE VISIT DATE:
03/21/2022

LEGEND

NEWPORT SHORES DRIVE

13442

= STREET NAME

= ADDRESS

= EXISTING SIDEWALK

= PROPOSED SIDEWALK BY HOME
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= MISSING SIDEWALK (HOME
CONSTRUCTION COMPLETED)

= MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT
SHOWN ON THIS SET

KEY MAP

N

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250

500

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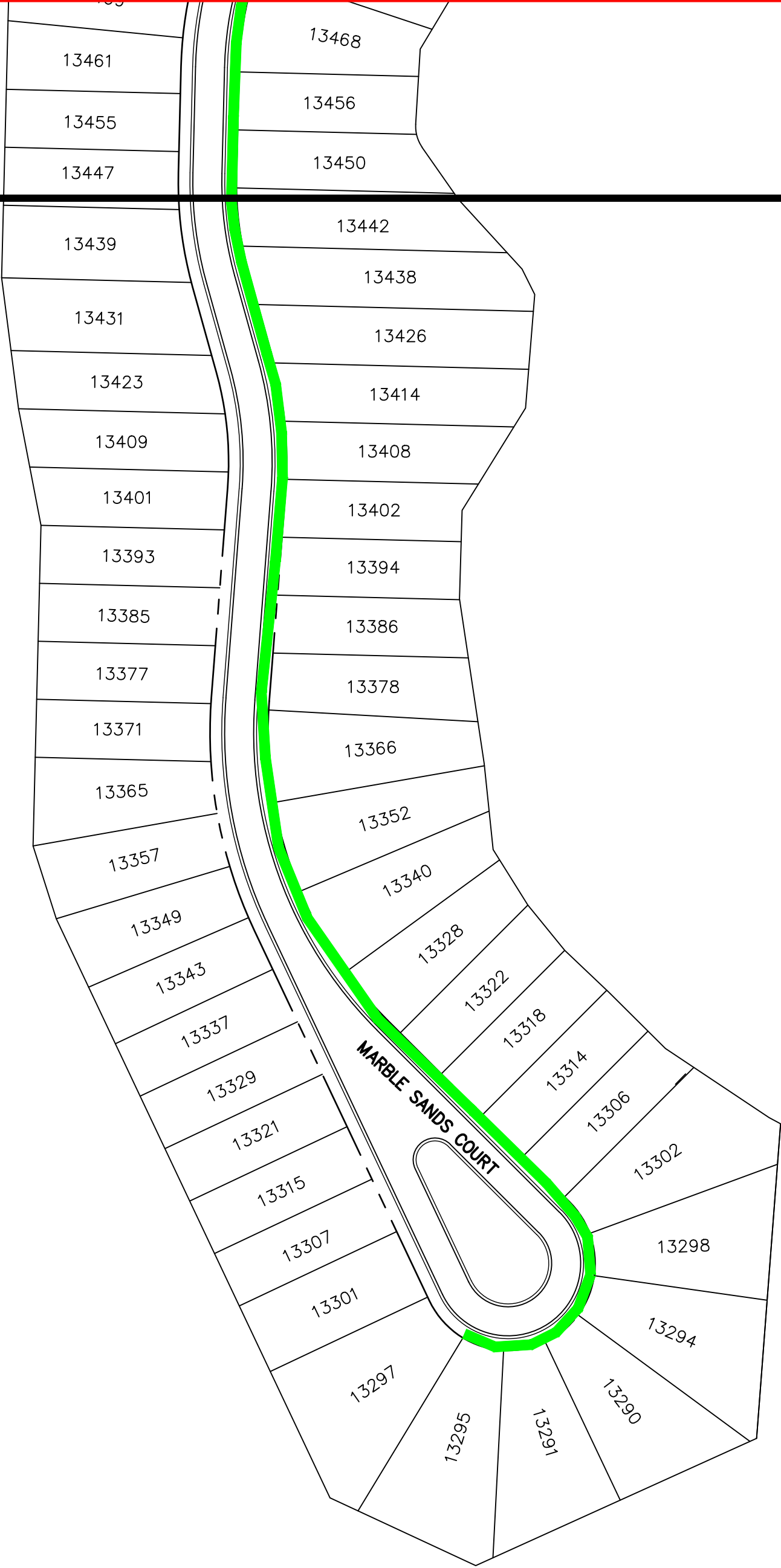
CREATION DATE: 06/11/2021	REVISED DATE: 04/13/2022	DRAWN BY: SLE	SHEET NUMBER: 7 OF 8
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SHEET 5

SHEET 8



SHEET 6

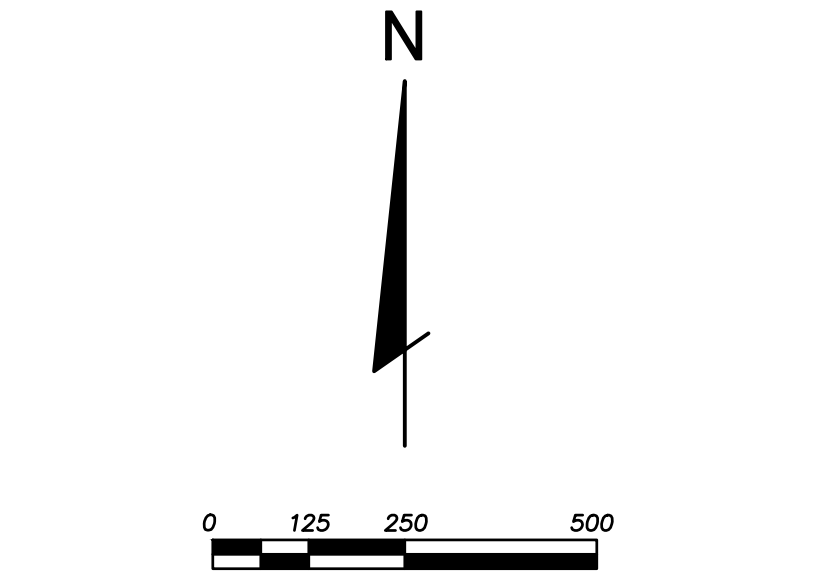
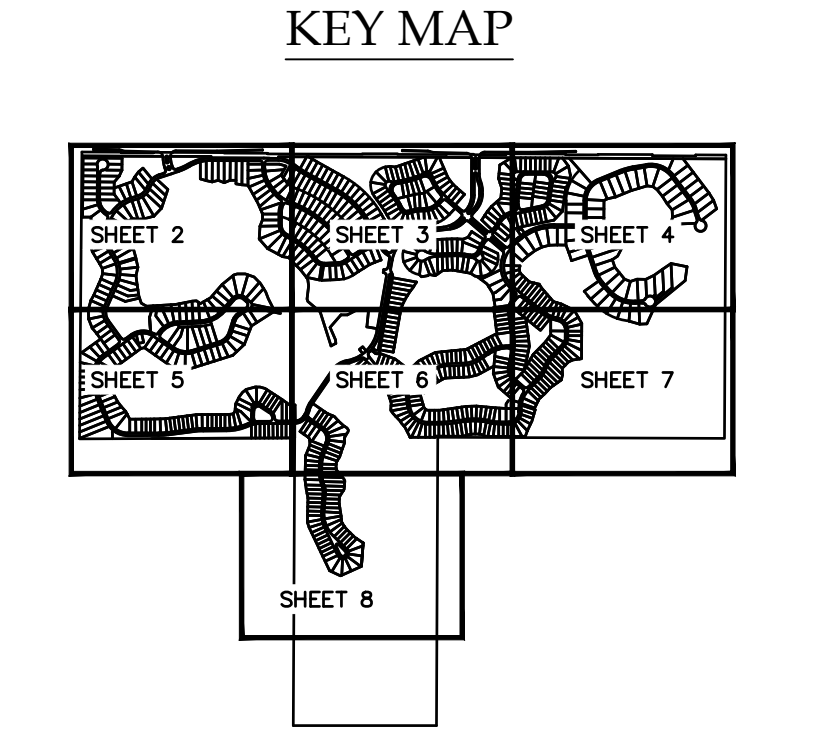
SHEET 8

PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

SHEET NAME:
EIGHT
PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**
SITE VISIT DATE:
03/21/2022

- LEGEND**
- | | |
|-----------------------------|---|
| NEWPORT SHORES DRIVE | = STREET NAME |
| 13442 | = ADDRESS |
| | = EXISTING SIDEWALK |
| | = PROPOSED SIDEWALK BY HOME BUILDER (HOMES NOT COMPLETED) |
| | = MISSING SIDEWALK (HOME CONSTRUCTION COMPLETED) |
| | = MISSING SIDEWALK RAMP |

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET



Tab 9

Lakeside Sidewalk Repair / Construction RFP

Florida Design Consultants, Inc. prepared a Request for Proposal from qualified contractors to remove and replace damaged curb and sidewalk as well as install ADA compliant tactile warning mats that were identified in the "Lakeside Street and Sidewalk Field Review Report" dated November 11, 2021 (see attached). Initially two respondents submitted proposals; but after review of the submittals and follow-up coordination with the submitters, only one of the Contractors was capable of performing the scope of work identified in the RFP.

Attached, please find a proposal from Site Masters of Florida, LLC. (Site Masters) to perform the work identified in the RFP. Additionally, Site Masters provided unit prices for additional sidewalk construction and sidewalk removal / replacement if field conditions require additional panels be removed / replaced to comply with ADA slope requirements.

Please note that Site Masters proposal identifies ancillary tasks (i.e. relocating mailboxes) that will be required to achieve the primary objective of sidewalk / curb modification. Therefore, these costs should be included in the total bid $(16,620 + 1,200 + 500 + 3,104 + 300) = \$21,724$. It common practice to include a 10% contingency in any construction authorization to account for unanticipated field conditions – brining the total recommended construction budget to \$23,896.40.

PROPOSAL

Lakeside CDD
Sidewalk ADA Improvements

3/16/2022

Construct various ADA Compliance improvements to
sidewalks as outlined in 11/11/21 Field Report provided
by District Engineer.

Photo 1	6'x8' panel/ADA mat	replace	\$1,250
Photo 2	12' x 6' driveway	replace	\$1,440
Photo 3	Cracked Panel	replace	\$400
Photo 4	Damaged curb	repair	\$100
Photo 5	Cracked Panel	replace	\$400
Photo 6	Lifted Panel	replace	\$500
Photo 7	Lifted Panel	replace	\$500
Photo 8	Cracked Curb	replace	\$600
Photo 9	Lifted Panel	replace	\$500
Photo 10			NA
Photo 11	Cracked/Lifted Panel	replace	\$500
Photo 12	Lifted Panel	replace	\$500
Photo 13	Lifted Panel	replace	\$500
Photo 14	Lifted Panel	replace	\$500
Photo 15	ADA mat		\$250
Photo 16	ADA mat		\$250
Photo 17	ADA mat		\$250
Photo 18	ADA mat		\$250
Photo 19	ADA mat		\$250
Photo 20	ADA mat		\$250
Photo 21	ADA mat		\$250
Photo 22	ADA mat		\$250
Photo 23	ADA mat		\$250
Photo 24	ADA mat		\$250
Photo 25	ADA mat		\$250
Photo 26	Re-set Stop sign		\$150
Crest Lake/Lakemont	Ramp/mat		\$810
Crest Lake/Weddington	Ramp/mat		\$550
SE Crest Lake/Eastfork	Ramp/mat		\$850
SW Crest Lake/Eastfork	Ramp/mat		\$650
Reindeer/Reindeer	Ramp/mat		\$1,270
Nesbit/Newport Shores	Ramp/mat		\$950
Nesbit/Newport Shores	Ramp/mat		\$950

TOTAL \$16,620

If lifted panels 6,7,9,12-14 fixed by grinding DEDUCT \$2,640

NOTES

Crest Lake/Weddington - may need 4 panels replaced for slope	\$1,200
Reindeer/Reindeer - mailbox needs to be moved	\$500
13367 Newport Shores/Nesbit side - 97' sidewalk missing	\$3,104
Nesbit/Newport Shores - valve boxes in sidewalk to be adjusted	\$300

Re: Request for Proposal - Lakeside CDD (Pasco County) sidewalk repairs

1 message

Tim Cooney <tim.sitemastersofflorida@yahoo.com>
To: David Fleeman <dfleeman@fldesign.com>

Fri, Mar 25, 2022 at 5:09 PM

Unit prices provided below are "per square foot" - since walk widths may vary

Remove and replace damaged sidewalk panels
\$20/sf

Construct new sidewalk
<50' \$15/ sf
>50' / <100' \$12/ sf
>100' \$ 8/ sf

On Friday, March 25, 2022, 04:46:27 PM EDT, David Fleeman <dfleeman@fldesign.com> wrote:

Tim,

Thanks for the updated proposal. I presented it to the CDD earlier this week and they requested that I contact you one more time to solicit unit prices for the following:

1. Removal & replacement of damaged sidewalk. (should they need to expand the project scope they would like to have a predefined rate).
2. Construction of new sidewalk. (should they need to expand the project scope they would like to have a predefined rate).

Please provide both prices in a per linear foot unit cost.

Thanks for your help and have a great weekend.

David

----- Forwarded message -----

From: **Tim Cooney** <tim.sitemastersofflorida@yahoo.com>

Date: Wed, Mar 16, 2022 at 10:22 PM

Subject: Re: Request for Proposal - Lakeside CDD (Pasco County) sidewalk repairs

To: David Fleeman <dfleeman@fldesign.com>

Cc: Al Belluccia <abelluccia@fldesign.com>

Revised proposal is attached

Excel file has 2 sheets : the original 2/14 and the revised 3/16

Lakeside Street and Sidewalk Field Review Report

Prepared for Lakeside CDD

On November 11, 2021, Florida Design Consultants, Inc. performed a field visit to review Lakeside streets and sidewalks. As a result of that field review, this report was developed to assist the Lakeside CDD in addressing the various repairs and maintenance items.

Photos were taken of areas of concern using a GPS enabled camera. This report includes those photos along with descriptions of necessary repairs and/or maintenance. The photos include GPS coordinates and are numbered with reference to the approved plans which are overlain on an aerial photo. The plans reference the photo number with respect to the location of where the photos were taken.


Photo No. <u>1</u> (Sheet 2)	
Photo Location and Direction from which taken: Lakemont Dr. (facing West) 28.35935, -82.58332	
Comments: Cracked sidewalk.	


Photo No. <u>2</u> (Sheet 7)	
Photo Location and Direction from which taken: Lakemont Dr. (facing West) 28.35585, -82.58618	
Comments: Cracked driveway.	

Photo No. <u> 3 </u> (Sheet 7)	 <p>Lakeside Roadway 11/11/2021 08:51 AM 28.35578, -82.58624 13633 Lakemont Dr, Hudson, FL 34669, USA</p>
Photo Location and Direction from which taken: Lakemont Dr. (facing Southwest) 28.35578, -82.58624	
Comments: Cracked sidewalk.	


Photo No. <u> 4 </u> (Sheet 7)	 <p>Lakeside Roadway 11/11/2021 08:58 AM 28.3542, -82.58777 13556 Marble Sands Ct, Hudson, FL 34669, USA</p>
Photo Location and Direction from which taken: Marble Sands Ct. (facing East) 28.3542, -82.58777	
Comments: Damaged curb.	


Photo No. <u> 5 </u> (Sheet 4)	
Photo Location and Direction from which taken: Newport Shores Dr. (facing East) 28.36015, -82.59278	
Comments: Cracked sidewalk.	


Photo No. <u> 6 </u> (Sheet 4)	
Photo Location and Direction from which taken: Newport Shores Dr. (facing East) 28.36033, -82.59197	
Comments: Sidewalk panel is lifted.	


Photo No. <u> 7 </u> (Sheet 4)	
Photo Location and Direction from which taken: Newport Shores Dr. (facing West) 28.36029, -82.59195	
Comments: Sidewalk panel is lifted	

Photo No. <u> 8 </u> (Sheet 3)	
Photo Location and Direction from which taken: 13734 Newport Shores Dr. (facing South) 28.36038, -82.58789	
Comments: Cracked curb, front of driveway.	


Photo No. <u> 9 </u> (Sheet 3)	
Photo Location and Direction from which taken: 13856 Newport Shores Dr. (facing South) 28.35916, -82.58611	
Comments: Sidewalk panel is lifted.	


Photo No. <u> 10 </u> (Sheet 3)	
Photo Location and Direction from which taken: Tensaw Dr. (facing East) 28.36064, -82.58877	
Comments: Damaged asphalt at intersection of Tensaw Dr. and Newport Shores Dr.	


Photo No. <u>11</u> (Sheet 6)	
Photo Location and Direction from which taken: 13744 Crest Lake Dr. (facing East) 28.35762, -82.58183	
Comments: Sidewalk panel is cracked & lifted.	


Photo No. <u>12</u> (Sheet 6)	
Photo Location and Direction from which taken: 13734 Crest Lake Dr. (facing East) 28.35737, -82.58157	
Comments: Sidewalk panel is lifted.	


Photo No. <u>13</u> (Sheet 6)	
Photo Location and Direction from which taken: 13710 Crest Lake Dr. (facing East) 28.35704, -82.58114	
Comments: Sidewalk panel is lifted.	


Photo No. <u>14</u> (Sheet 6)	
Photo Location and Direction from which taken: 13704 Crest Lake Dr. (facing East) 28.35694, -82.58098	
Comments: Sidewalk panel is lifted.	


Photo No. <u>15</u> (Sheet 7)	
Photo Location and Direction from which taken: Lakemont Dr. (facing East) 28.35431, -82.58779	
Comments: Missing ADA detectable warning surface.	


Photo No. <u>16</u> (Sheet 3)	
Photo Location and Direction from which taken: Trull Way (facing West) 28.35975, -82.58862	
Comments: Missing ADA detectable warning surface.	


Photo No. <u>17</u> (Sheet 3)	
Photo Location and Direction from which taken: Trull Way (facing East) 28.35965, -82.58854	
Comments: Missing ADA detectable warning surface.	


Photo No. <u>18</u> (Sheet 2)	
Photo Location and Direction from which taken: Crater Cir. (facing East) 28.35974, -82.58383	
Comments: Missing ADA detectable warning surface.	


Photo No. <u>19</u> (Sheet 2)	
Photo Location and Direction from which taken: Reindeer Cir. (facing West) 28.35889, -82.58244	
Comments: Missing ADA detectable warning surface.	

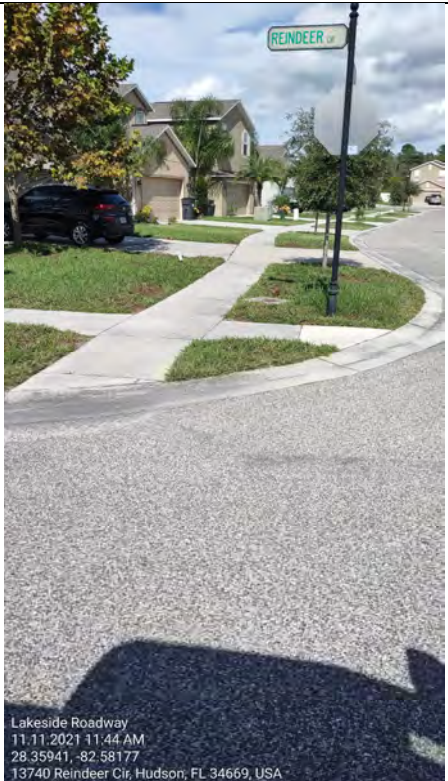
Photo No. <u>20</u> (Sheet 2)	
Photo Location and Direction from which taken: Reindeer Cir. (facing North) 28.35941, -82.58177	
Comments: Missing ADA detectable warning surface.	


Photo No. <u>21</u> (Sheet 2)	
Photo Location and Direction from which taken: Reindeer Cir. (facing North) 28.35942, -82.58171	
Comments: Missing ADA detectable warning surface.	


Photo No. <u>22</u> (Sheet 2)	
Photo Location and Direction from which taken: Lugano Court (facing West) 28.35876, -82.58273	
Comments: ADA detectable warning surface is faded.	


Photo No. <u>23</u> (Sheet 2)	
Photo Location and Direction from which taken: Lugano Court (facing East) 28.3587, -82.58264	
Comments: ADA detectable warning surface is faded.	


Photo No. <u>24</u> (Sheet 6)	
Photo Location and Direction from which taken: Crest Lake Circle (facing South) 28.35731, -82.58175	
Comments: Missing ADA detectable warning surface.	


Photo No. <u>25</u> (Sheet 6)	
Photo Location and Direction from which taken: Eastfork Lane (facing East) 28.356, -82.58196	
Comments: Missing ADA detectable warning surface.	


Photo No. <u>26</u> (Sheet 7)	
Photo Location and Direction from which taken: Sea Bridge Dr. (facing Southwest) 28.35421, -82.58879	
Comments: Stop Sign is twisted.	


Photo No. <u>27</u> (Sheet 7)	
Photo Location and Direction from which taken: Bee Tree Court (facing Northeast)	
Comments: Cracked asphalt. Appears to be normal wear and tear, we are consulting with Geotechnical Engineer for confirmation.	

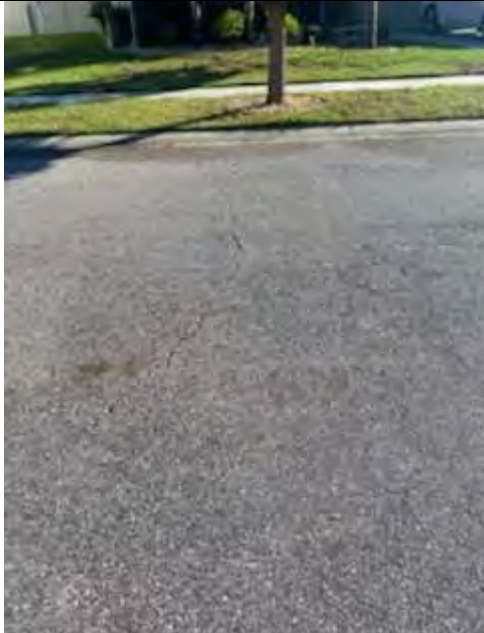
Photo No. <u>28</u> (Sheet 7)	
Photo Location and Direction from which taken: Bee Tree Court (facing Northeast)	
Comments: Cracked asphalt. Appears to be normal wear and tear, we are consulting with Geotechnical Engineer for confirmation.	



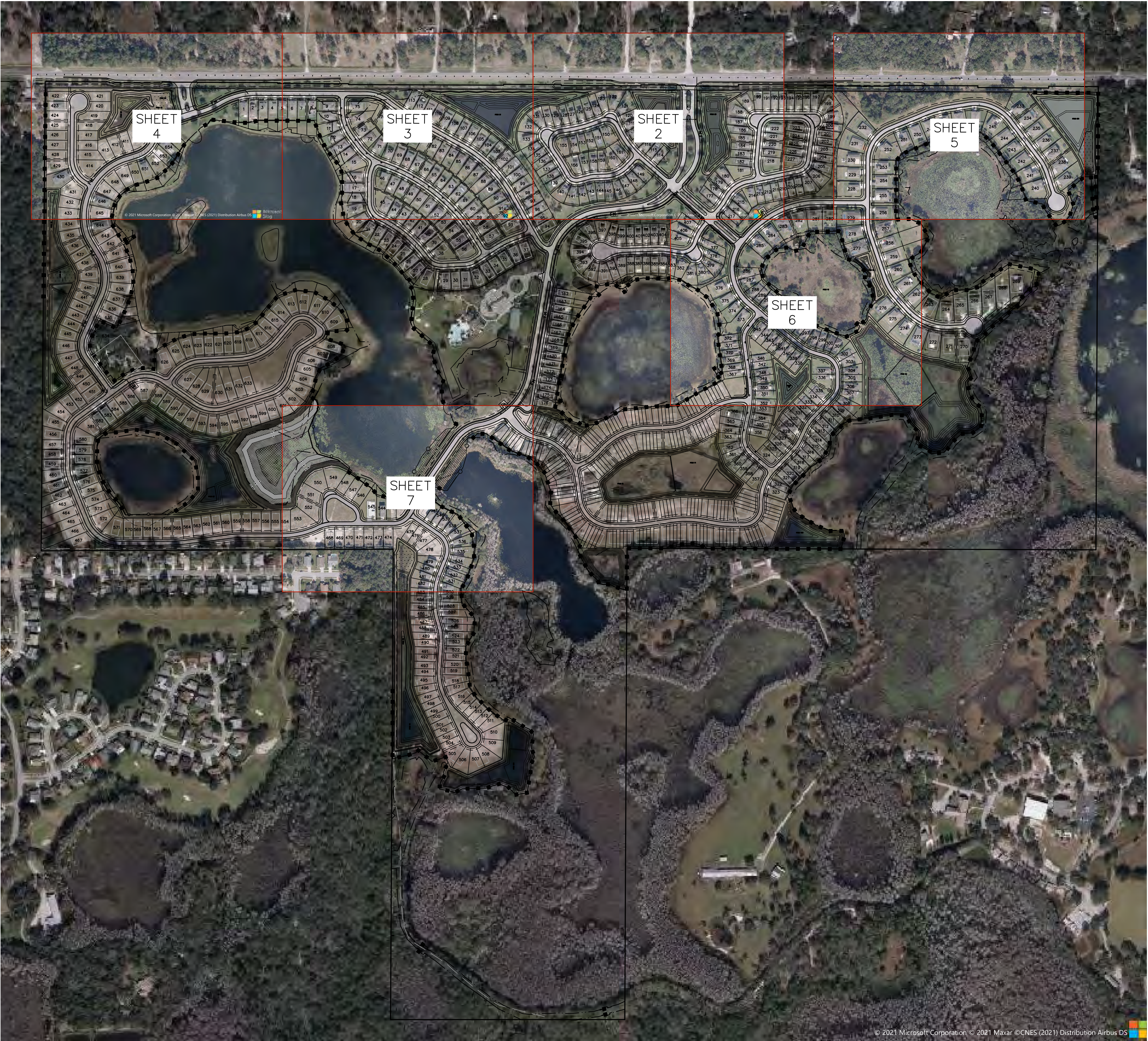
Photo No. <u>29</u> (Sheet 7)	
Photo Location and Direction from which taken: Bee Tree Court (facing Northeast)	
Comments: Cracked asphalt. Appears to be normal wear and tear, we are consulting with Geotechnical Engineer for confirmation.	

Photo No. <u>30</u> (Sheet 7)	
Photo Location and Direction from which taken: Bee Tree Court (facing Southwest)	
Comments: Cracked asphalt. Appears to be normal wear and tear, we are consulting with Geotechnical Engineer for confirmation.	



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**LAKESSIDE CDD STREET
AND SIDEWALK FIELD
REVIEW REPORT**

SHEET NAME:
KEY MAP

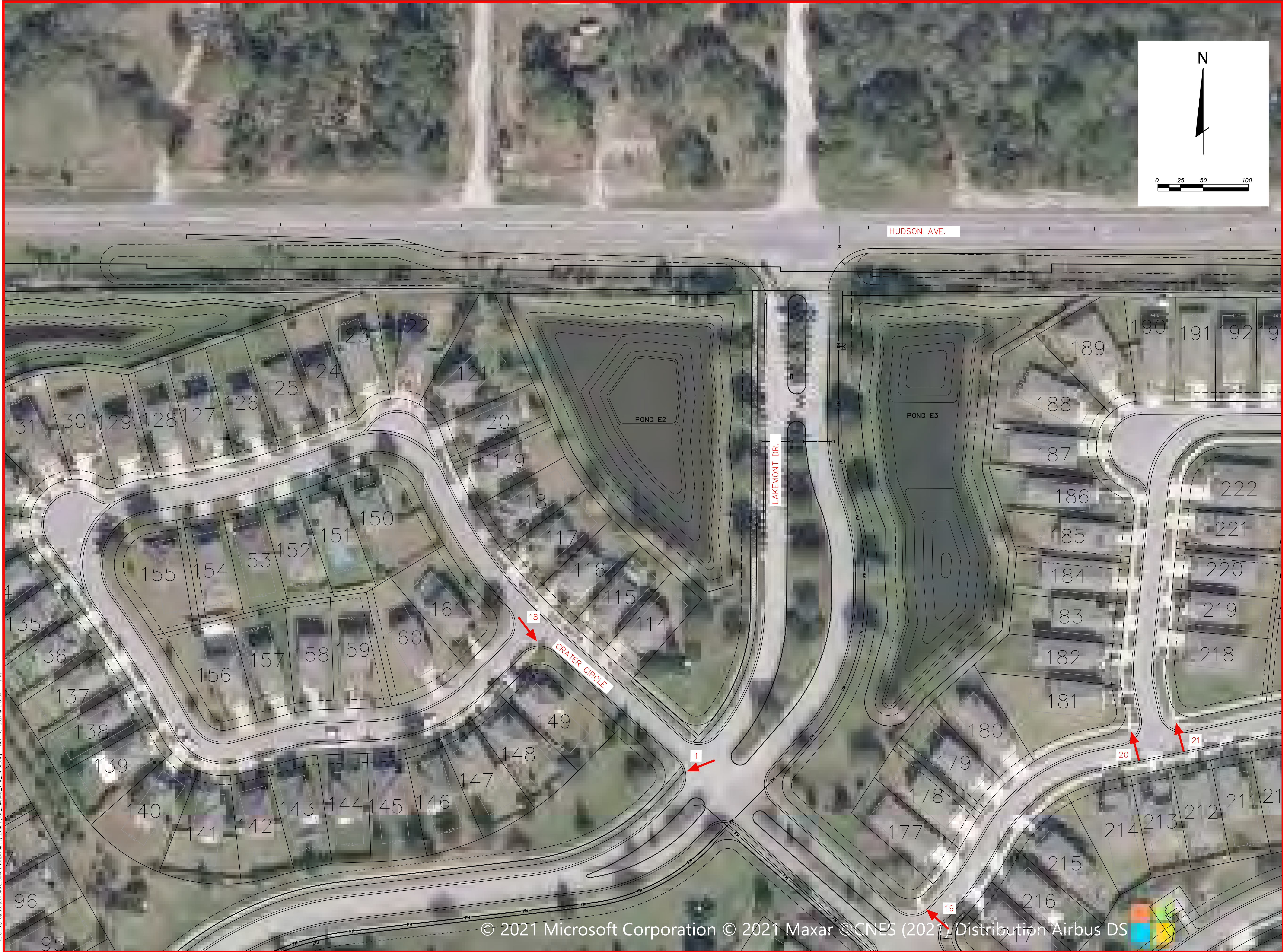
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11/15/2021		JRS	1 OF 7



PROJECT NAME:

**LAKESTIDE CDD STREET
AND SIDEWALK FIELD
REVIEW REPORT**

SHEET NAME:

KEY MAP

SITE VISIT DATE:

11/11/2021

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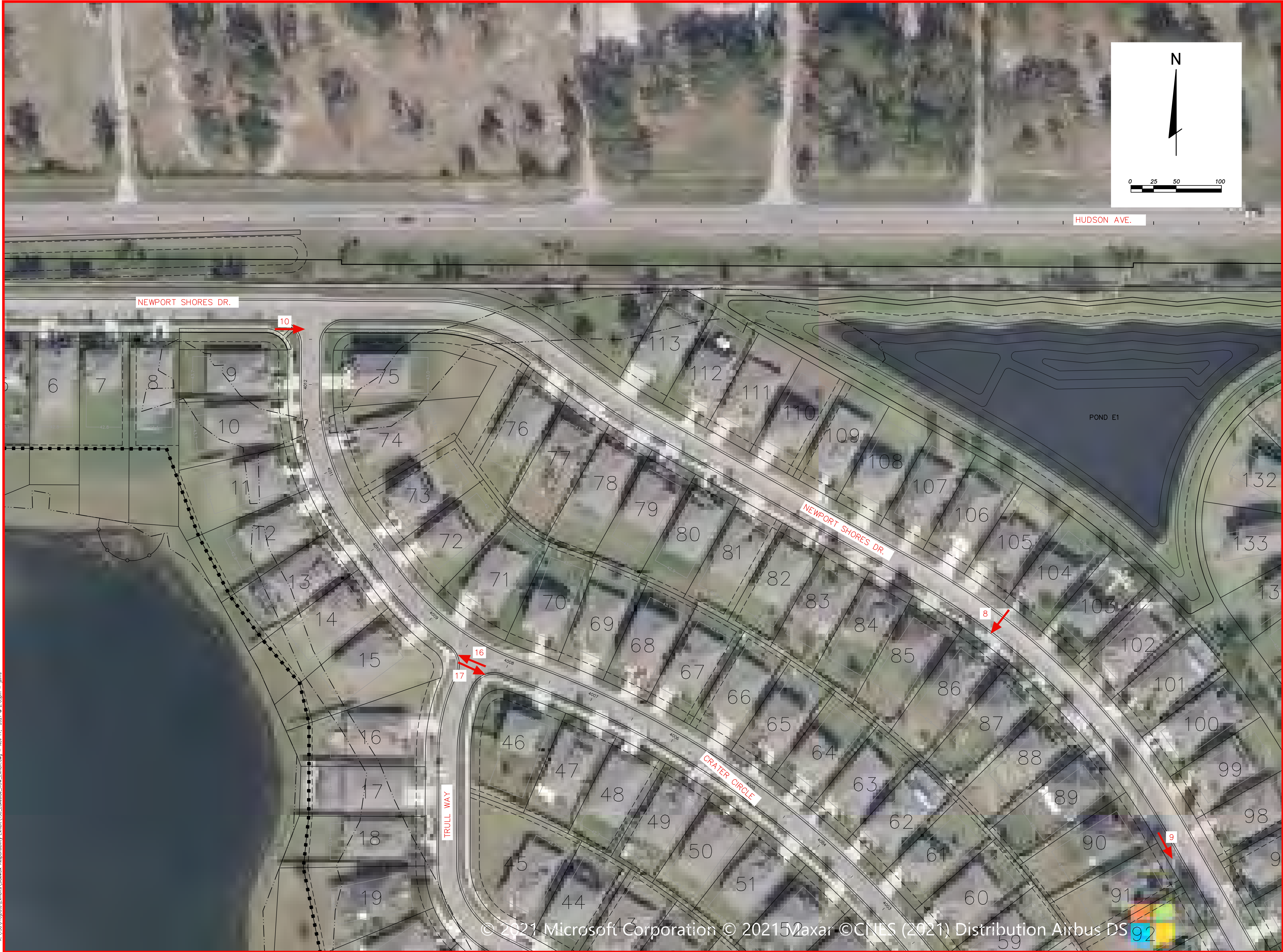


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PROJECT NAME:
**LAKESTIDE CDD STREET
AND SIDEWALK FIELD
REVIEW REPORT**

SHEET NAME:
KEY MAP

SITE VISIT DATE:
11/11/2021

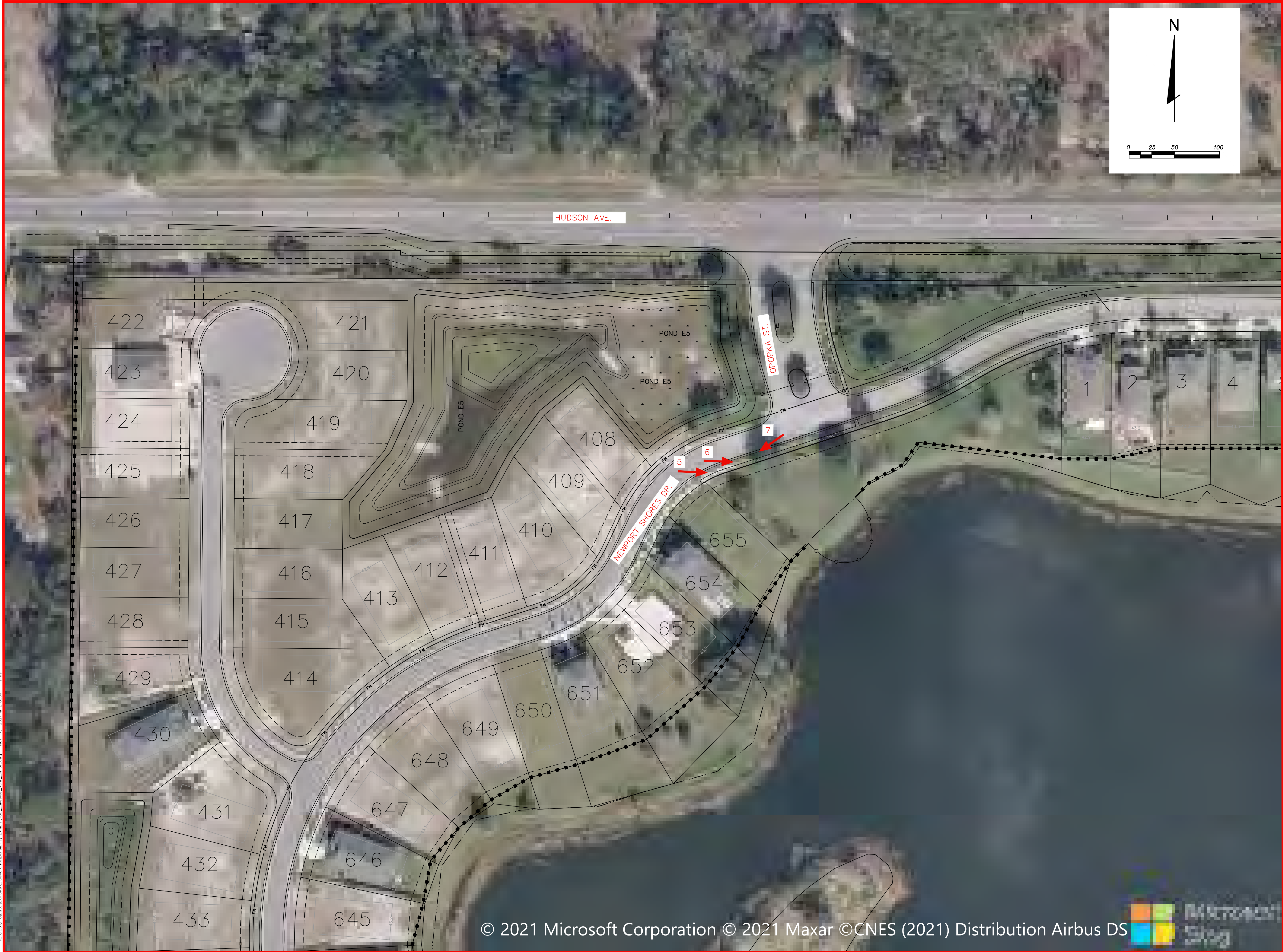
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CREATION DATE:	REVISED DATE:	DRAWN BY:	SHEET NUMBER:
11/15/2021		JRS	3 OF 7



PROJECT NAME:
**LAKESSIDE CDD STREET
AND SIDEWALK FIELD
REVIEW REPORT**

SHEET NAME:
KEY MAP

SITE VISIT DATE:
11/11/2021

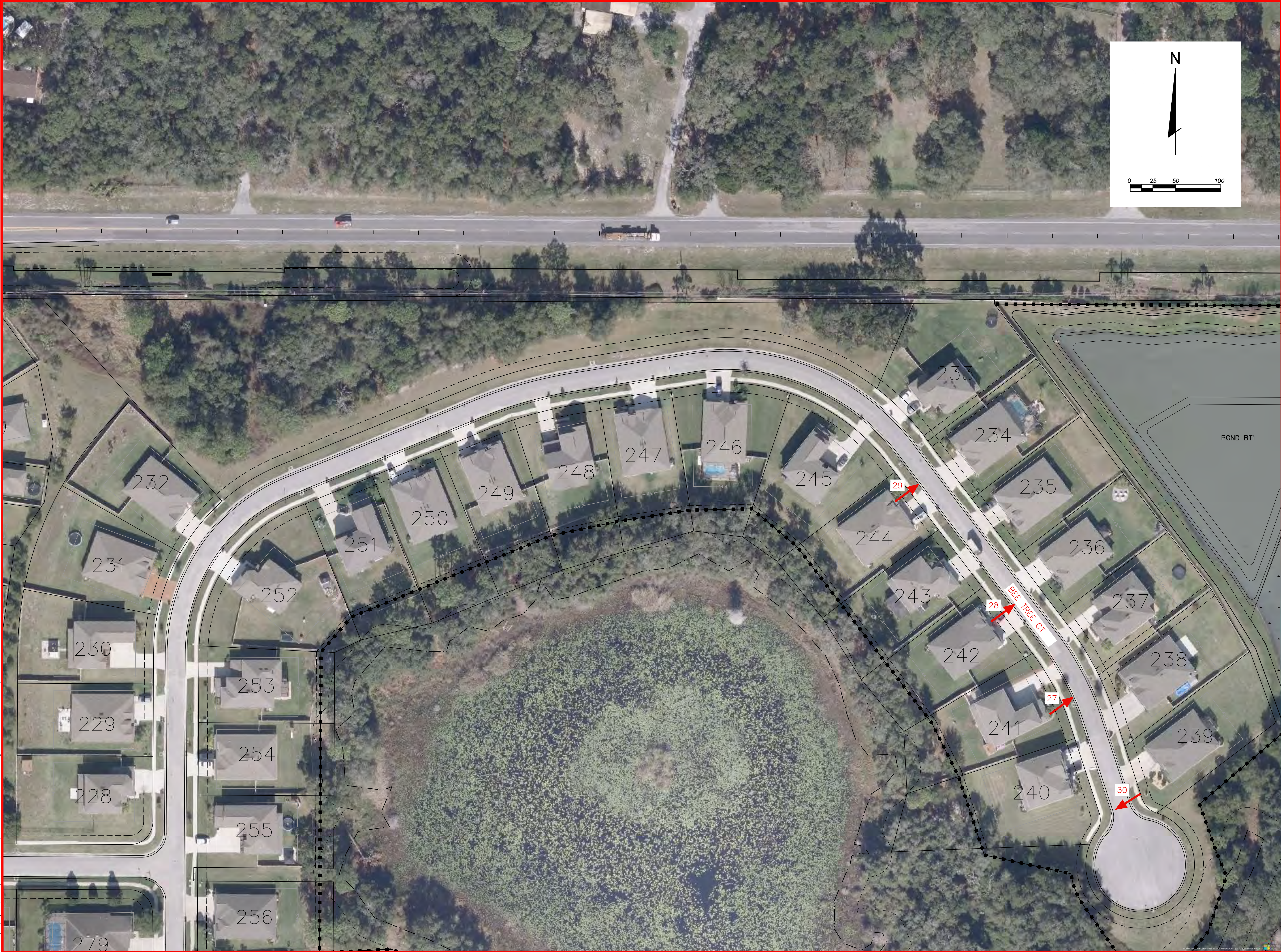
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CREATION DATE:	REVISED DATE:	DRAWN BY:	SHEET NUMBER:
11/15/2021		JRS	4 OF 7



PROJECT NAME:
**LAKESIDE CDD STREET
AND SIDEWALK FIELD
REVIEW REPORT**

SHEET NAME:
KEY MAP

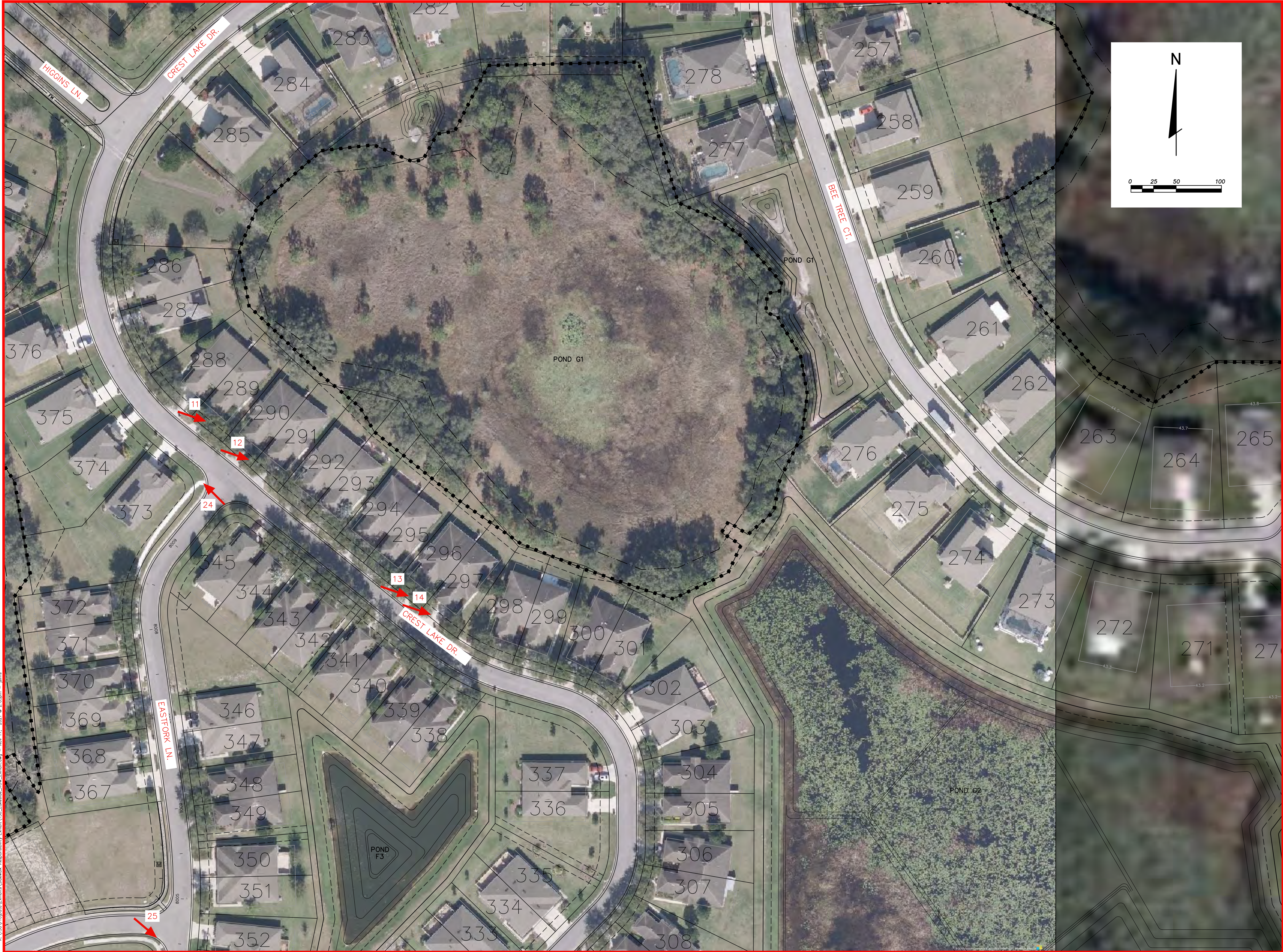
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11/15/2021		JRS	5 OF 7



PROJECT NAME:
**LAKESIDE CDD STREET
AND SIDEWALK FIELD
REVIEW REPORT**

SHEET NAME:
KEY MAP

SITE VISIT DATE:
11/11/2021

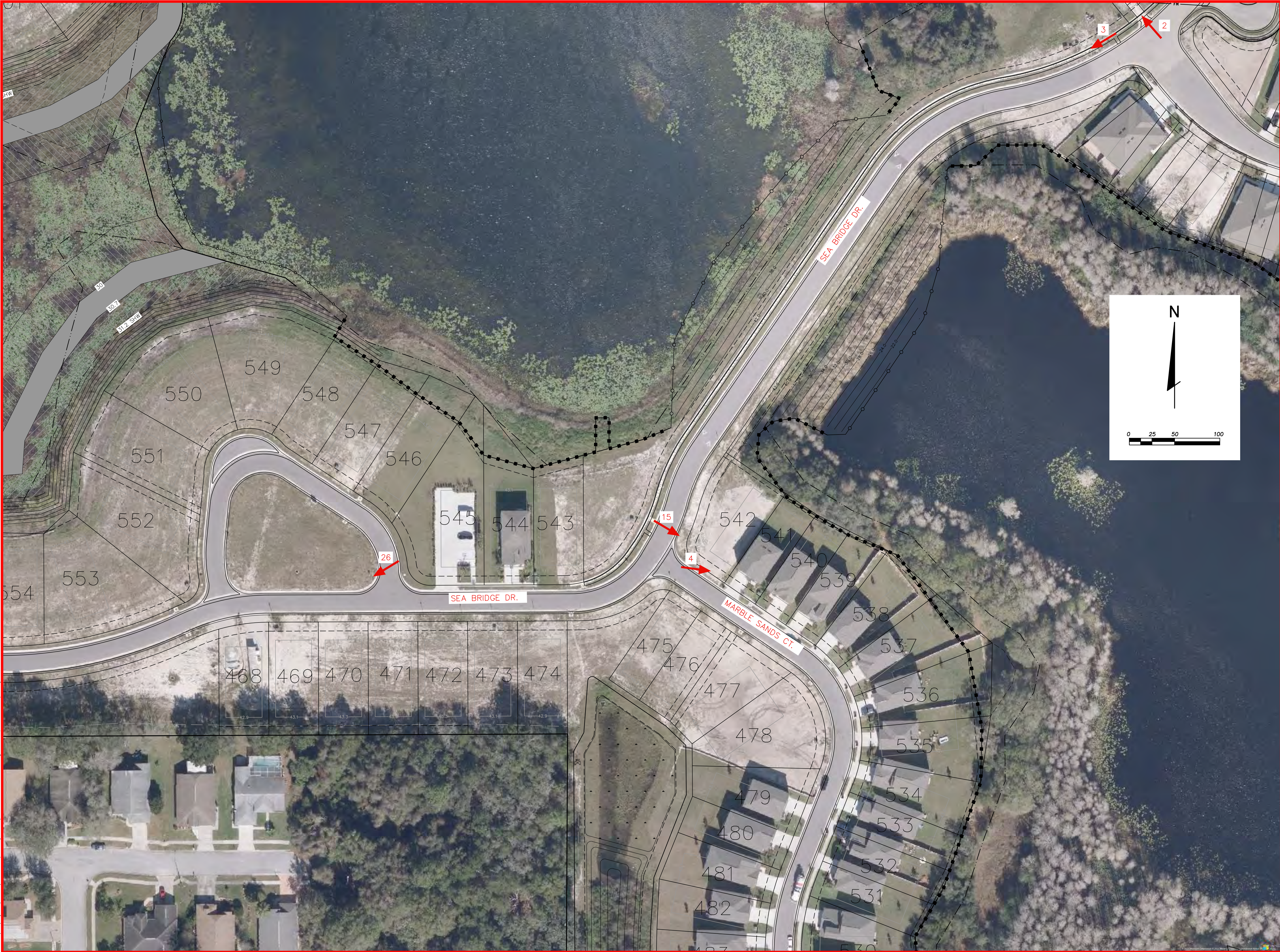
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11/15/2021		JRS	6 OF 7



PROJECT NAME:
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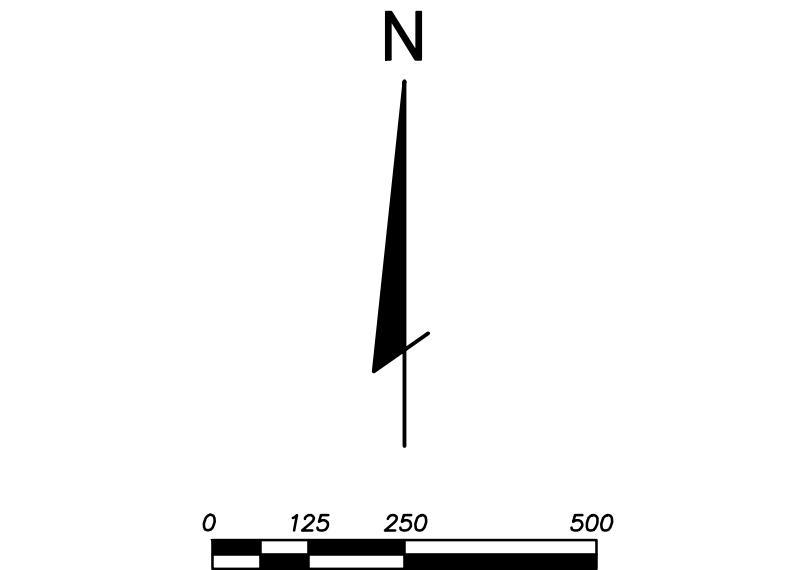
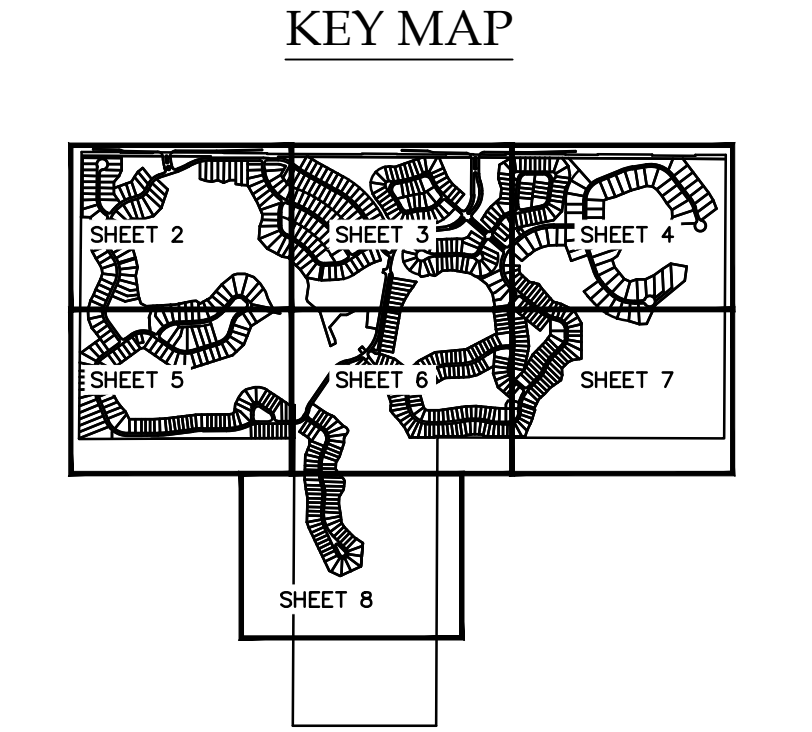



PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

SHEET NAME:
OVERALL
PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**
SITE VISIT DATE:
11/11/2021

- LEGEND**
- | | |
|-----------------------------|--|
| NEWPORT SHORES DRIVE | = STREET NAME |
| 13442 | = ADDRESS |
| | = EXISTING SIDEWALK CONSTRUCTED BY HOME BUILDER OR BY MASTER DEVELOPER |
| | = PROPOSED SIDEWALK PER CONSTRUCTION PLANS BY HOME BUILDER (HOMES NOT COMPLETED) |
| | = MISSING HOME BUILDER REQUIRED SIDEWALK (HOME CONSTRUCTION COMPLETED) |
| | = MISSING SIDEWALK RAMP |

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET





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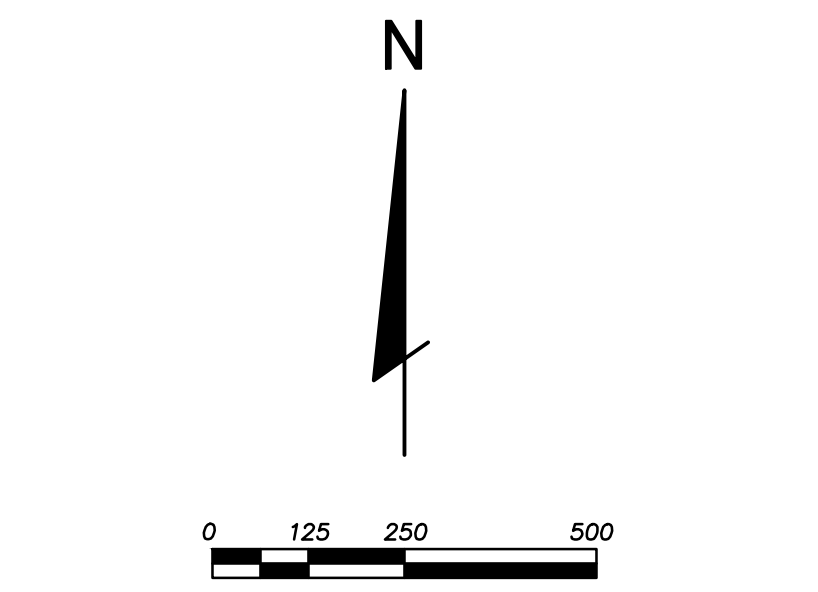
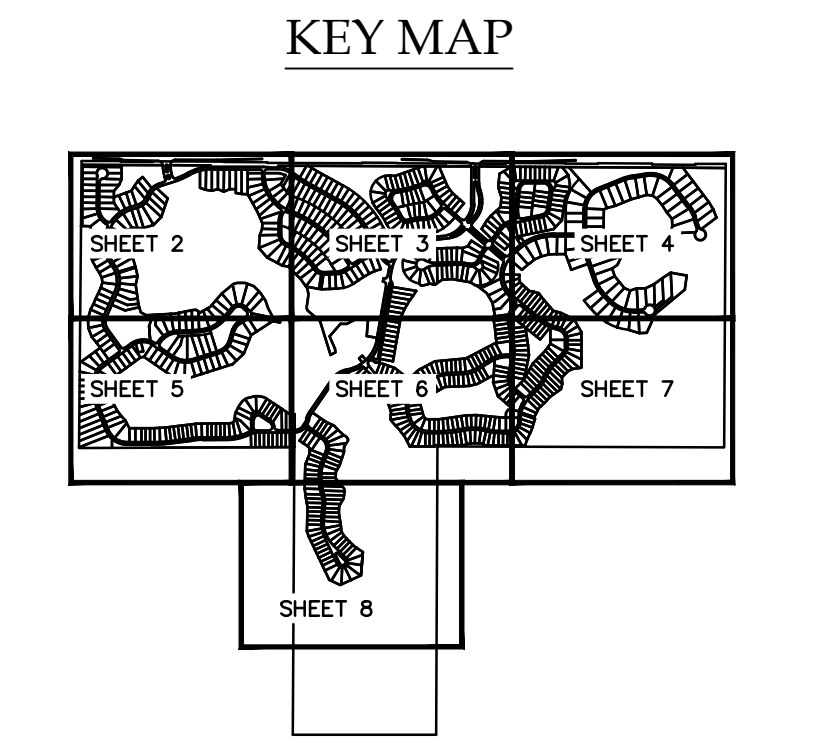
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**UPDATED
LAKESIDE CDD
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SHEET NAME:
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PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**
SITE VISIT DATE:
11/11/2021

LEGEND

NEWPORT SHORES DRIVE	= STREET NAME
13442	= ADDRESS
	= EXISTING SIDEWALK CONSTRUCTED BY HOME BUILDER OR BY MASTER DEVELOPER
	= PROPOSED SIDEWALK PER CONSTRUCTION PLANS BY HOME BUILDER (HOMES NOT COMPLETED)
	= MISSING HOME BUILDER REQUIRED SIDEWALK (HOME CONSTRUCTION COMPLETED)
	= MISSING SIDEWALK RAMP

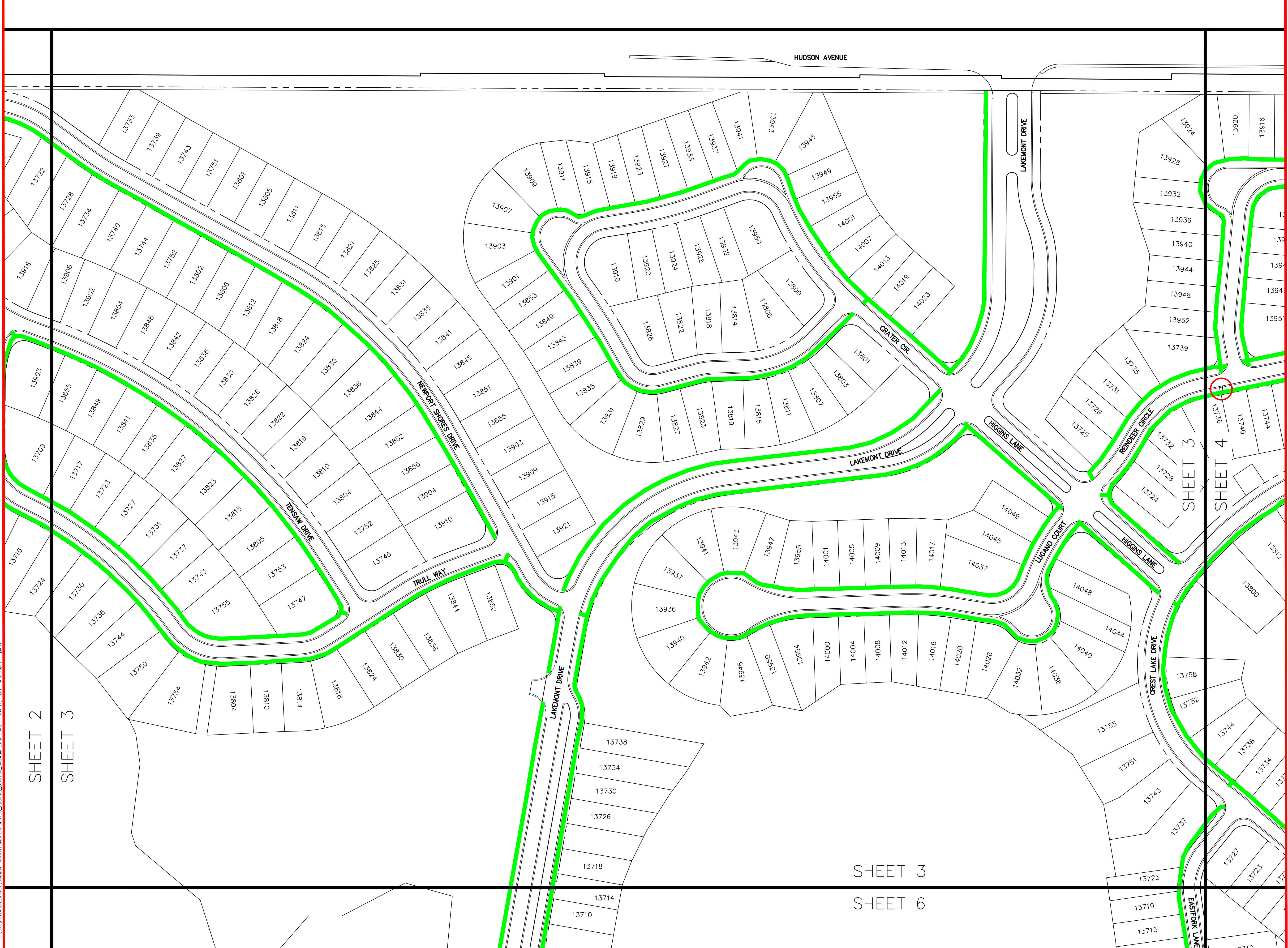
CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET



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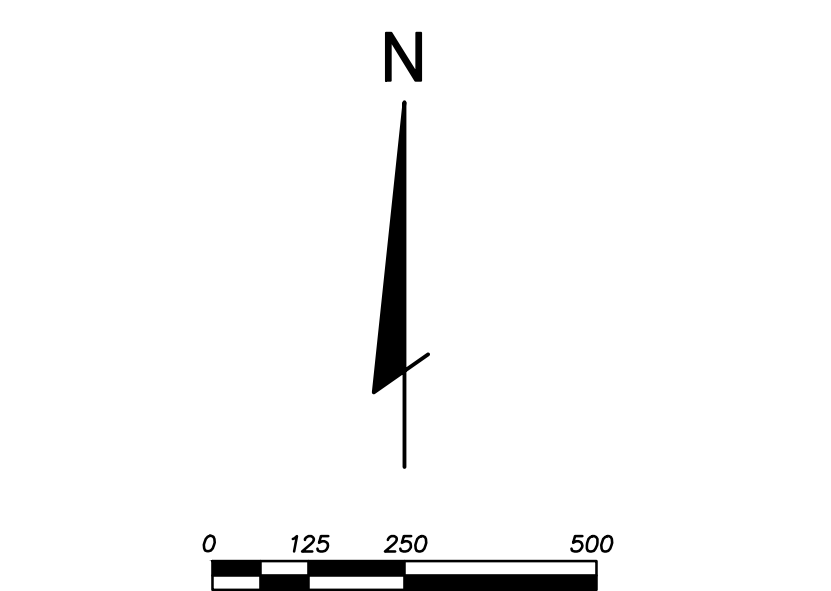
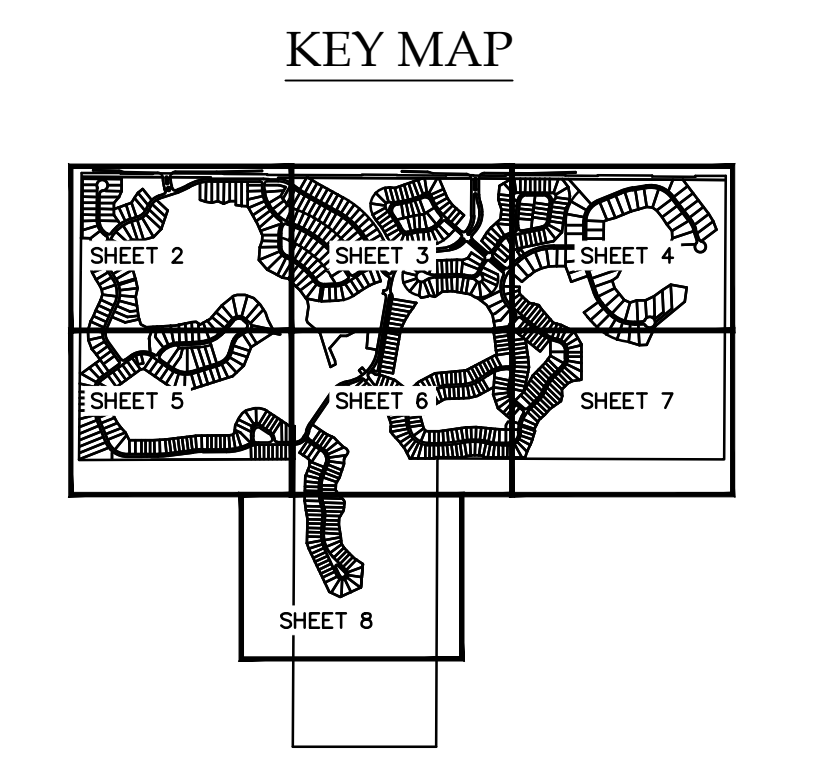



PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

SHEET NAME:
OVERALL
PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**
SITE VISIT DATE:
11/11/2021

- LEGEND**
- NEWPORT SHORES DRIVE** = STREET NAME
 - 13442 = ADDRESS
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 - [Blue Line] = PROPOSED SIDEWALK PER CONSTRUCTION PLANS BY HOME BUILDER (HOMES NOT COMPLETED)
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CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET



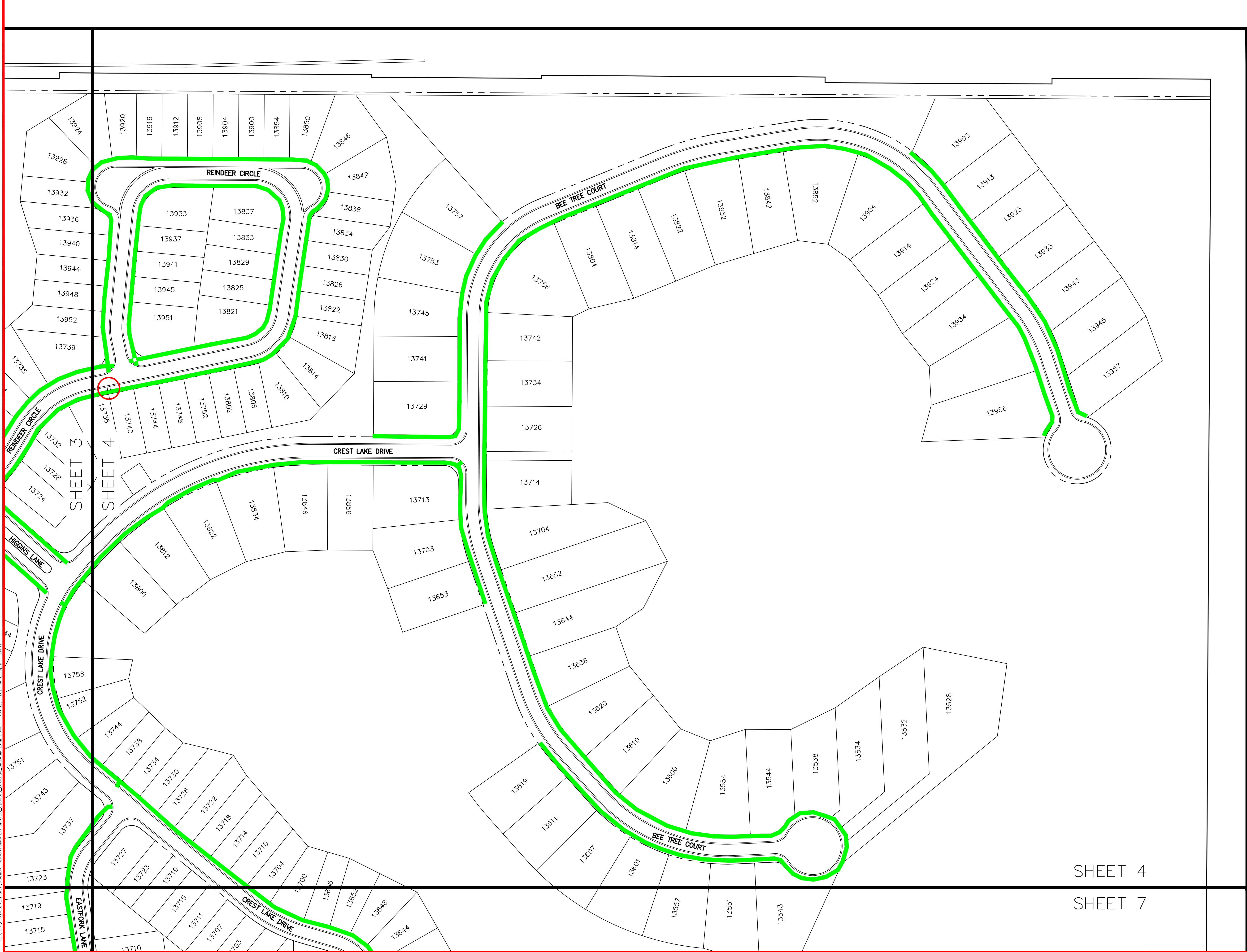


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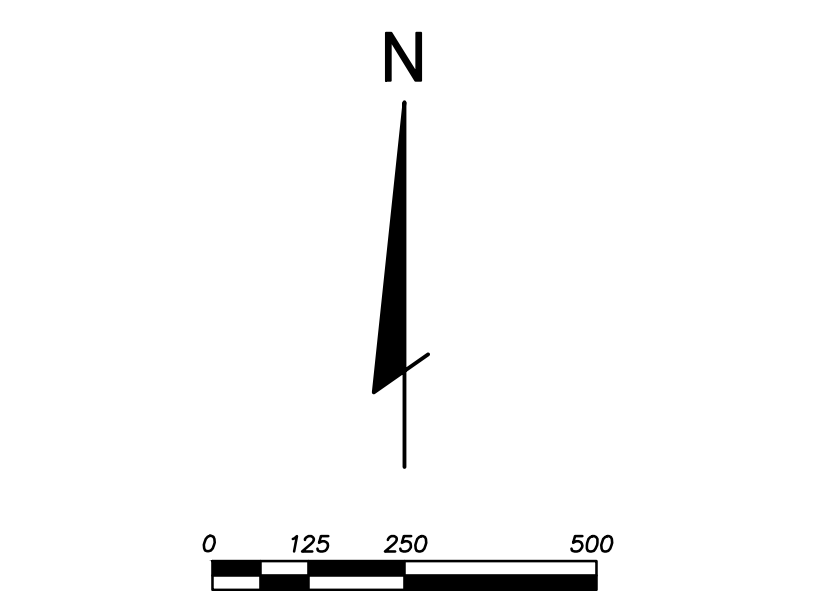
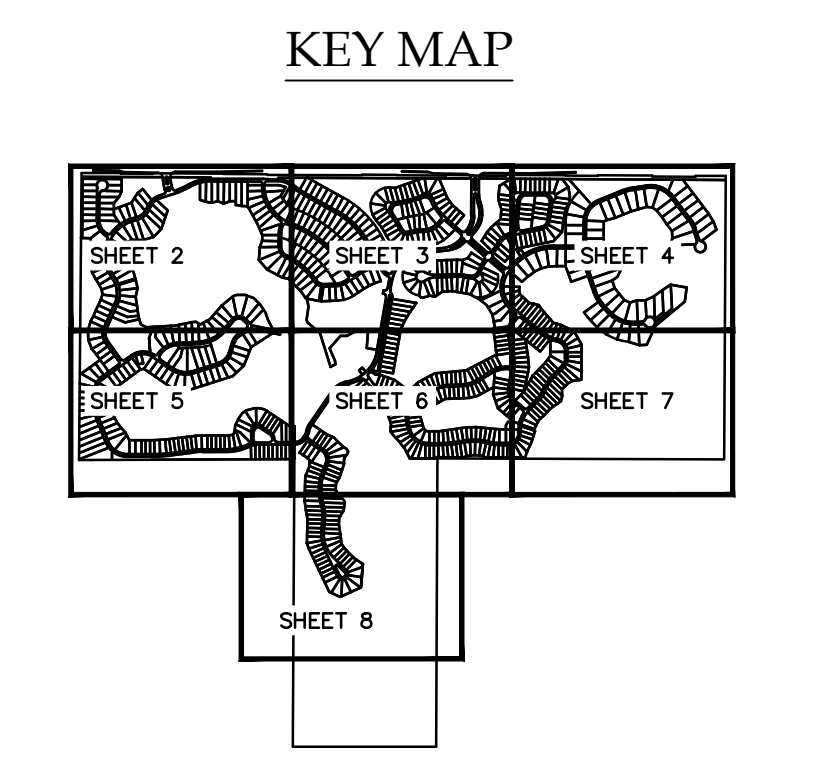
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PROJECT NAME:
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LAKESIDE CDD
SIDEWALK
EXHIBIT**

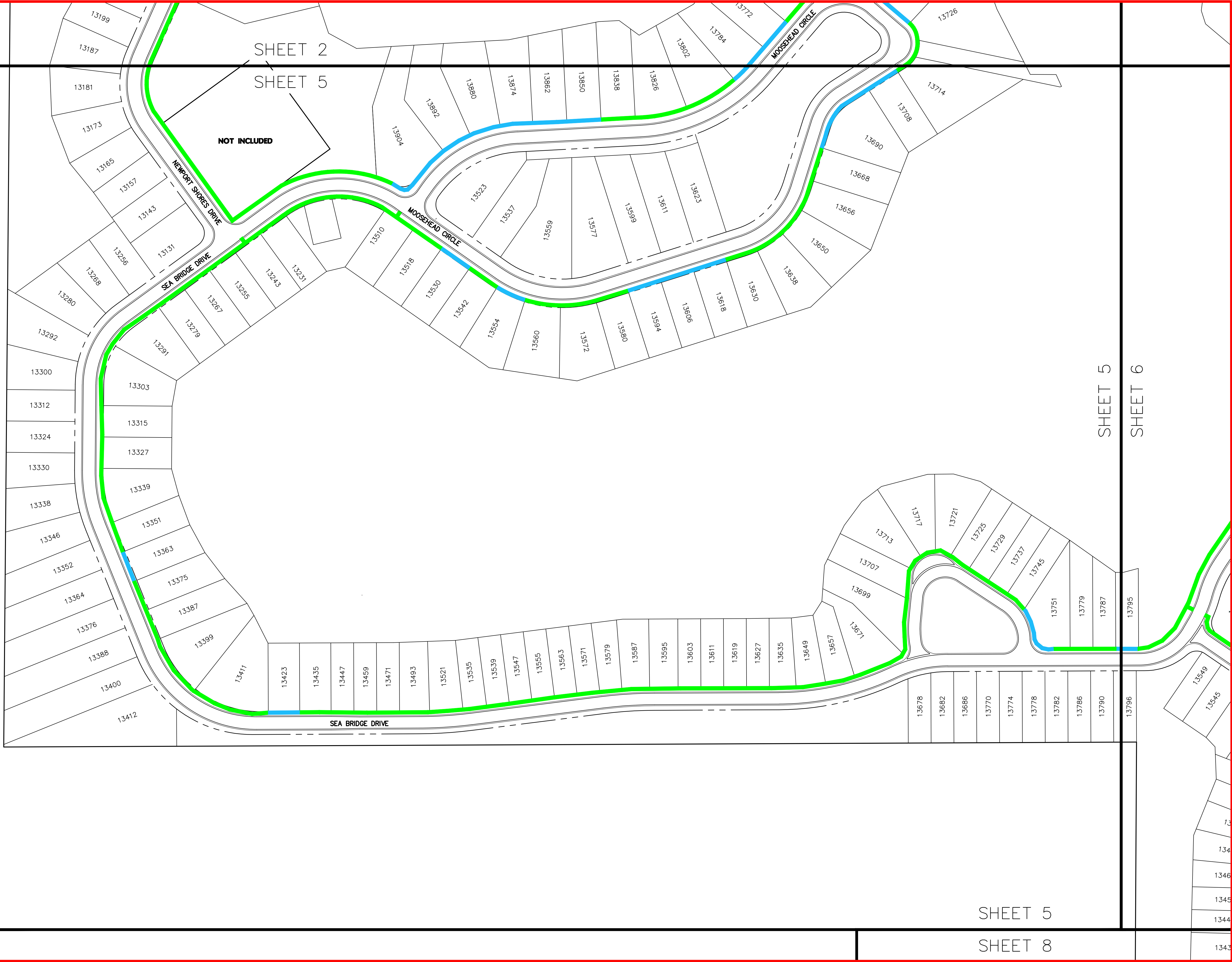
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PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**
SITE VISIT DATE:
11/11/2021

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SIDEWALK
EXHIBIT**

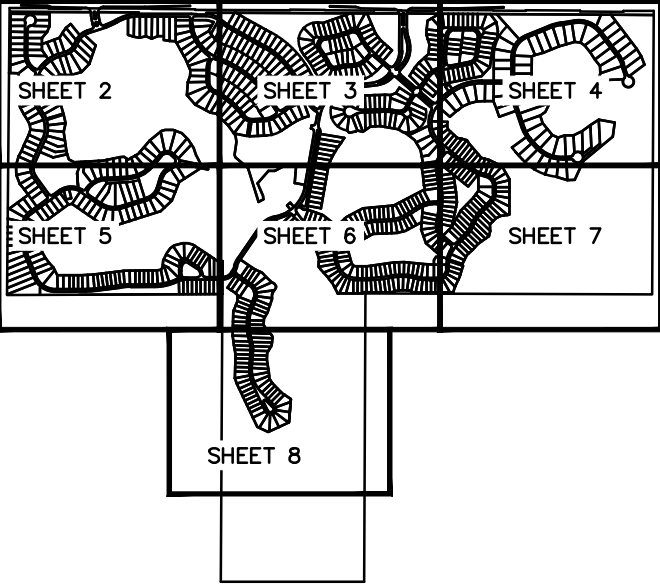
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OVERALL
PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**
SITE VISIT DATE:
11/11/2021

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13442 = ADDRESS
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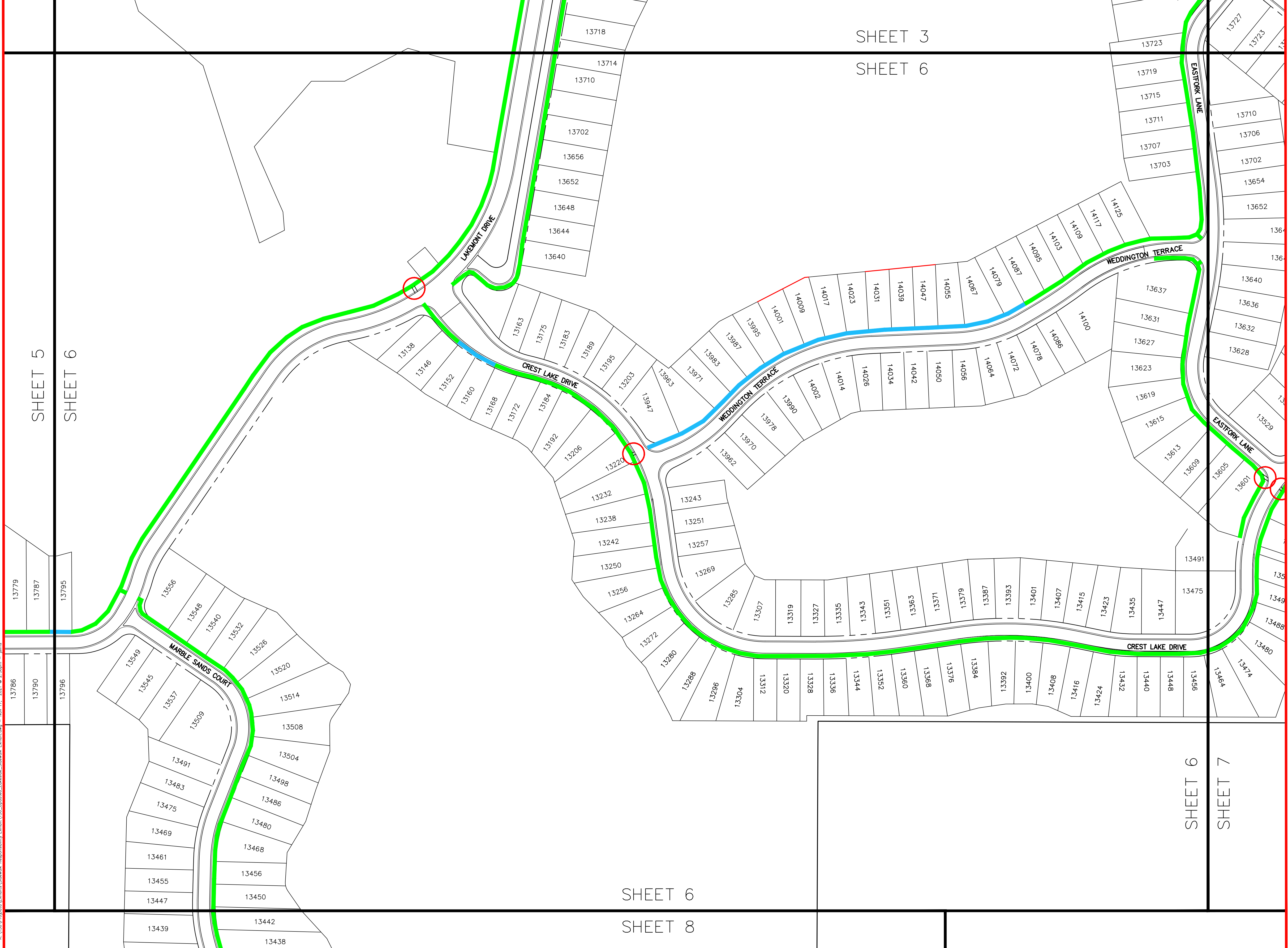
KEY MAP



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06/11/2021	11/12/2021	SLE	5 OF 8



PROJECT NAME:
**UPDATED
LAKESIDE CDD
SIDEWALK
EXHIBIT**

SHEET NAME:
OVERALL

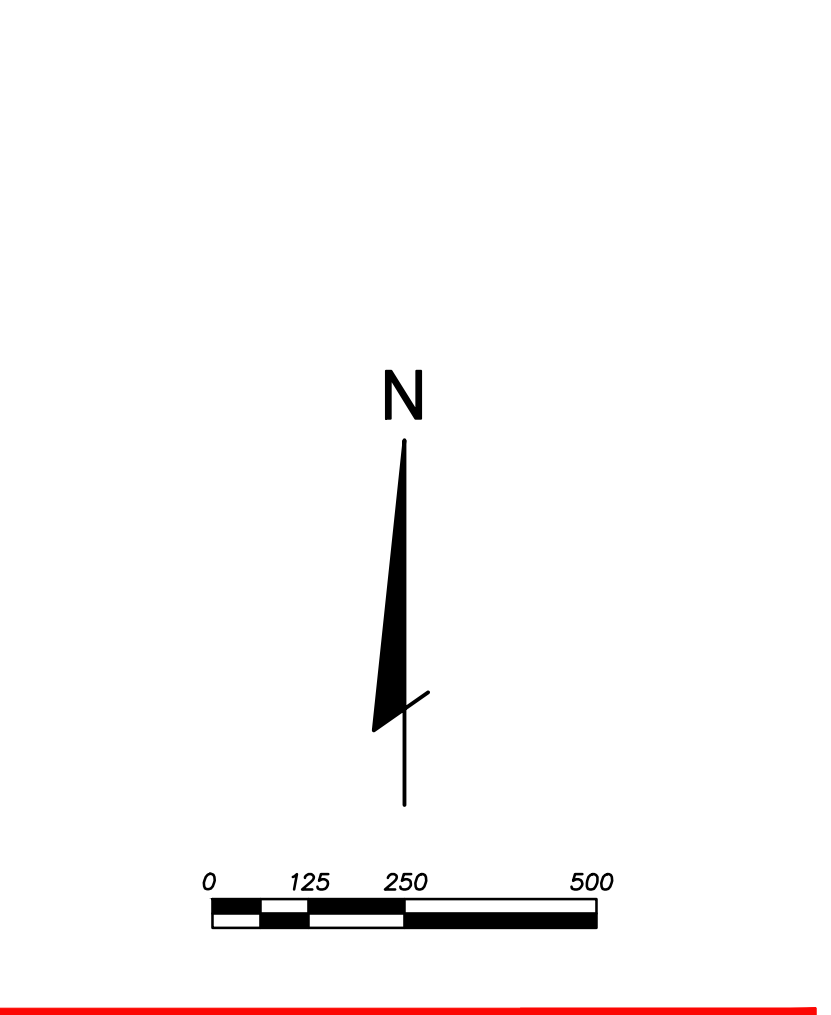
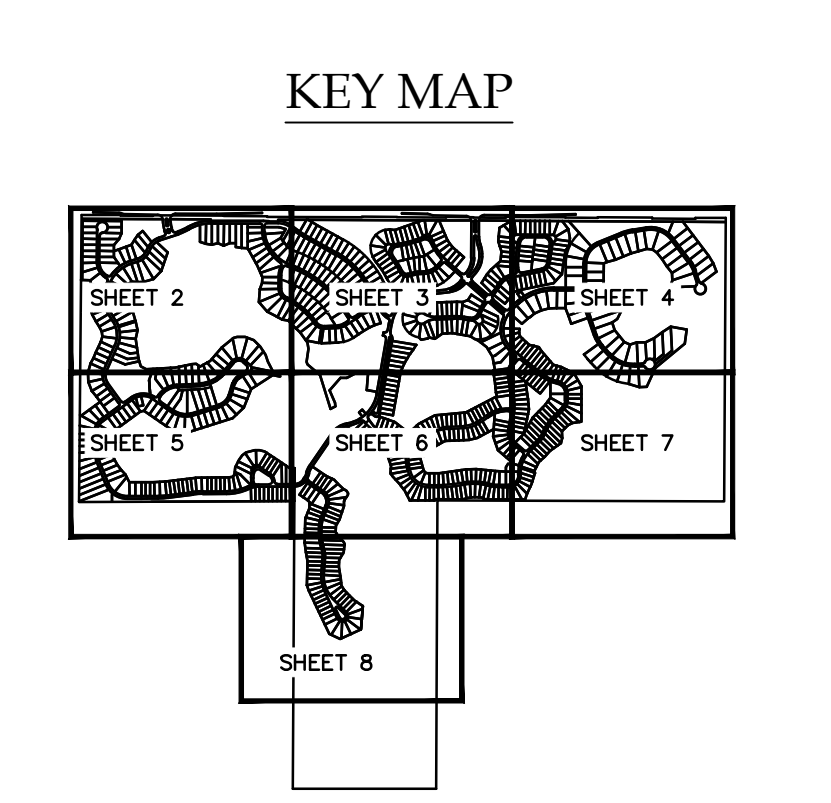
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**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**

SITE VISIT DATE:
11/11/2021

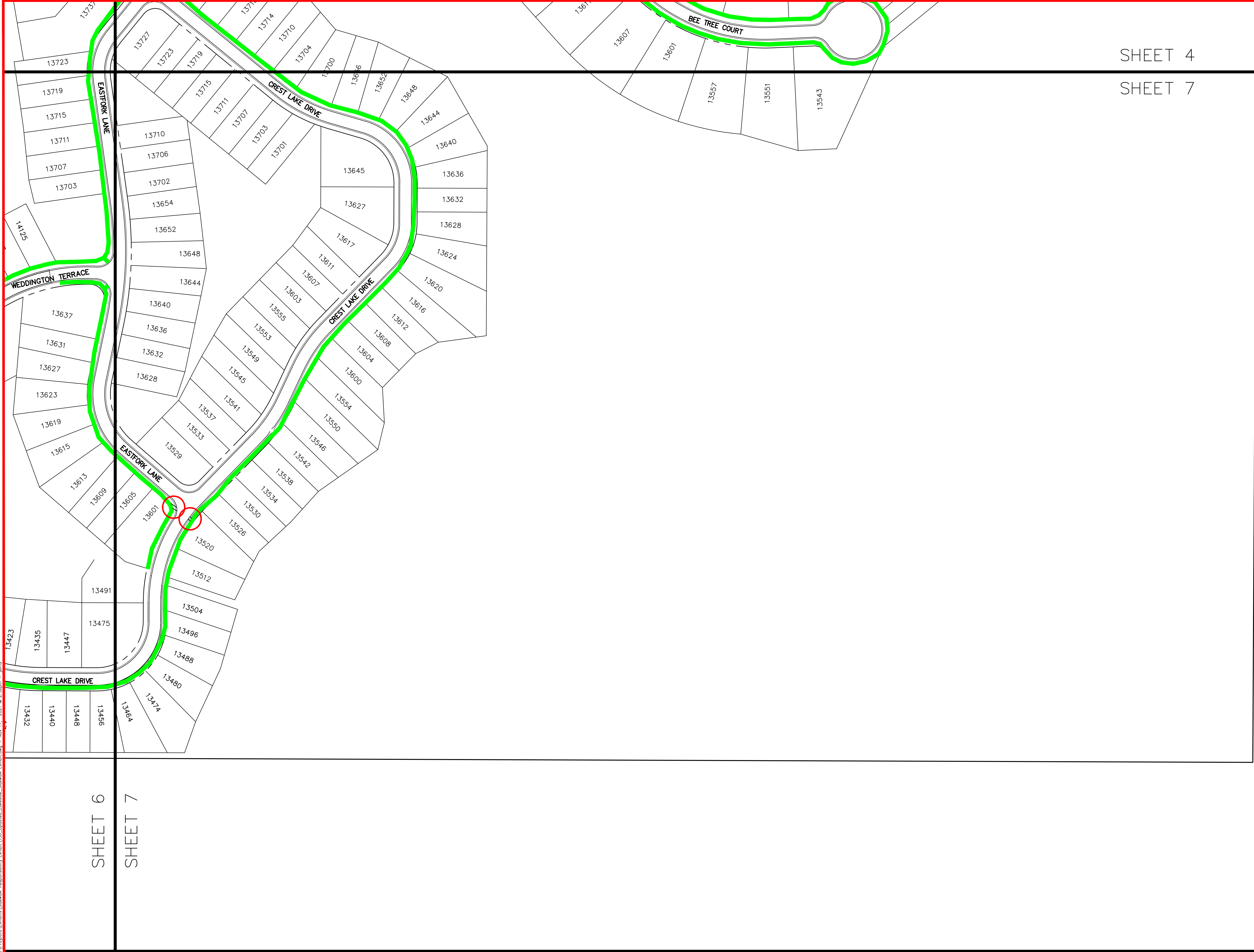
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SHEET 4

SHEET 7

SHEET 6

SHEET 7

PROJECT NAME:

UPDATED LAKESIDE CDD SIDEWALK EXHIBIT

SHEET NAME:

OVERALL

PREPARED FOR:

LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT

SITE VISIT DATE:

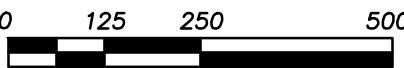
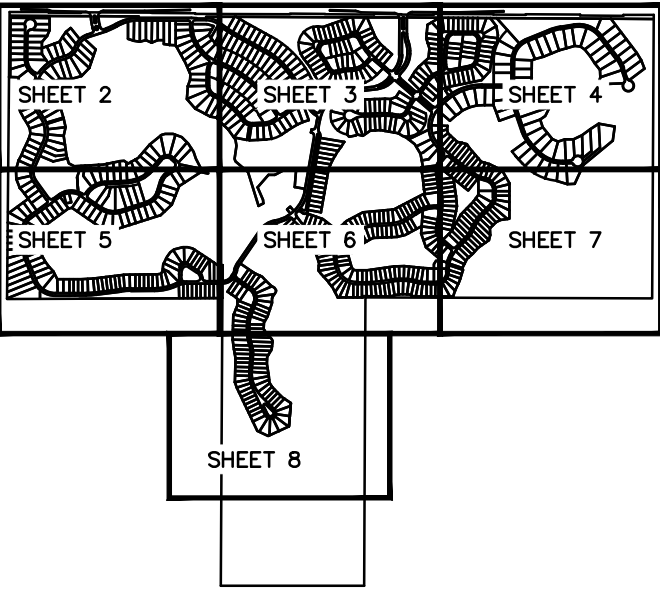
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LEGEND

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 - MISSING SIDEWALK RAMP

CDD PROPOSED TRAFFIC CALMING AND CROSSINGS ARE NOT SHOWN ON THIS SET

KEY MAP

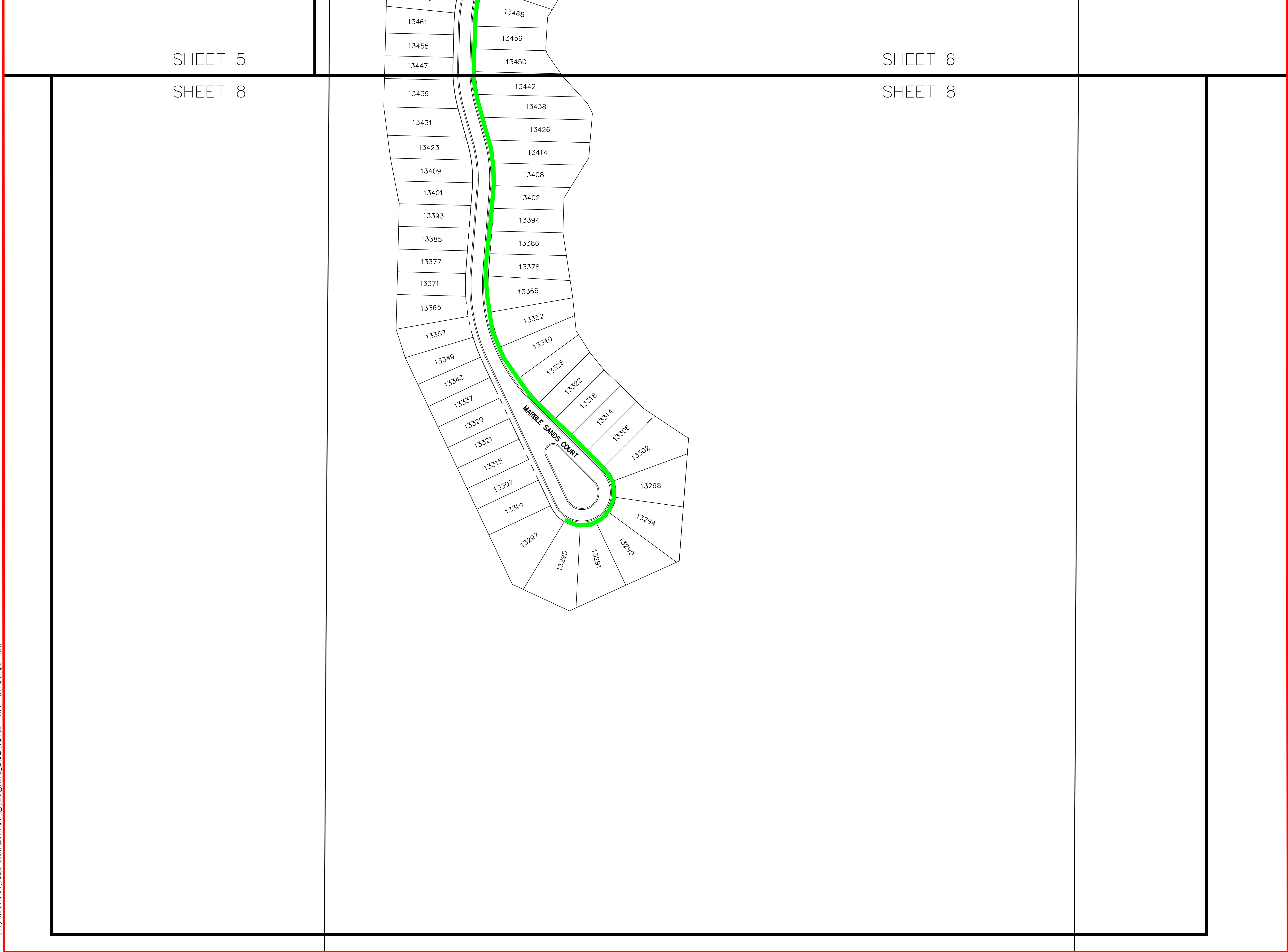


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PROJECT NAME:

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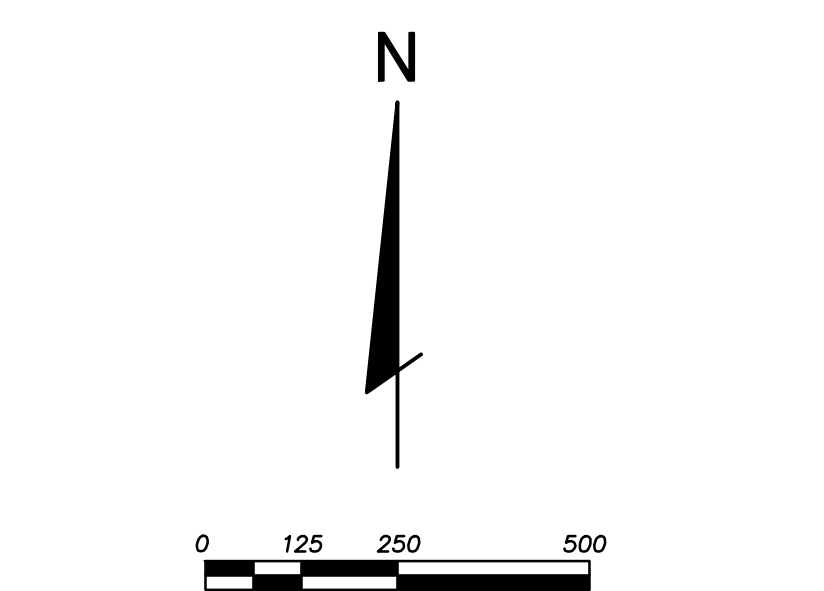
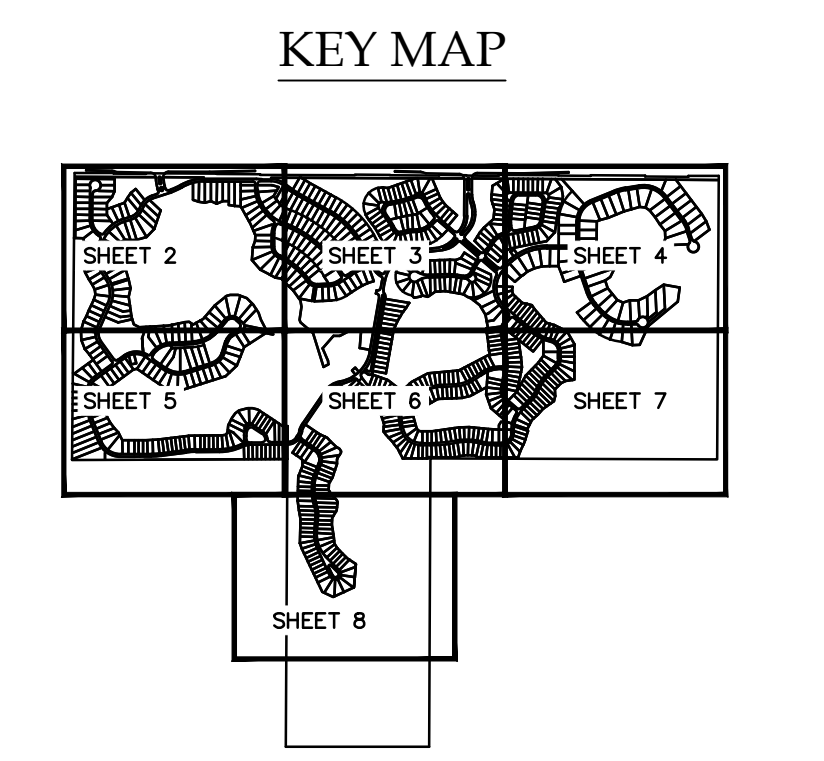
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OVERALL

PREPARED FOR:
**LAKESIDE COMMUNITY
DEVELOPMENT DISTRICT**

SITE VISIT DATE:
11/11/2021

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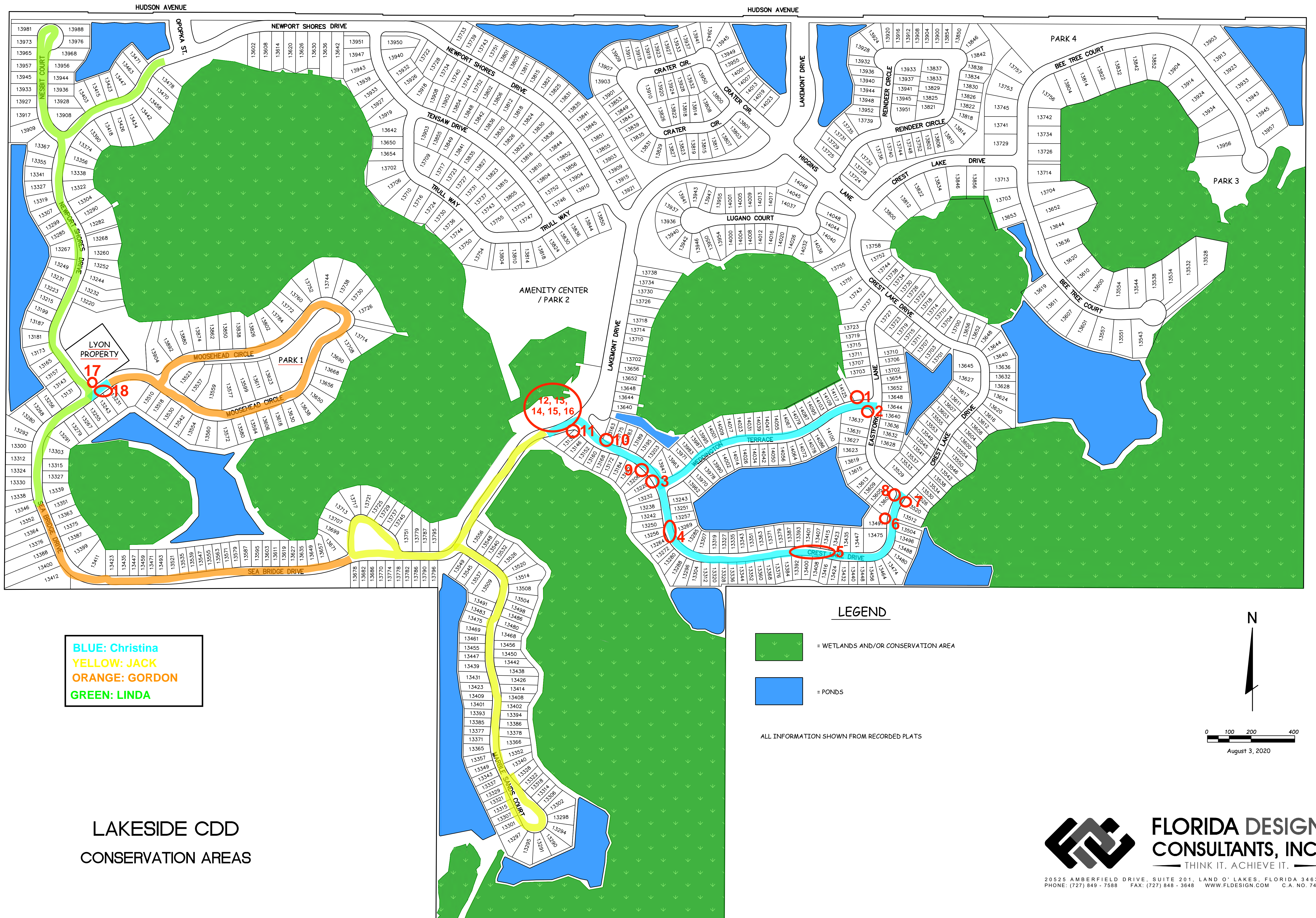


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Tab 10

Christina Brooks

BLUE



Lakeside CDD Developer Punch List - BLUE Legend

2. Missing handicap raised bumps along the sidewalk entrance/exit at the East Fork and Weddington Intersection.



OLD SECTION
- FRESH LOOKING CONCRETE
- DETECTABLE WARNINGS
MISSING
- CAN NOT TELL IF RECENTLY
REPAIRED BY HOME BUILDER,
NONETHELESS NOT A
DEVELOPER RESPONSIBILITY

Lakeside CDD Developer Punch List - BLUE Legend

3. Missing sidewalk entrance/exit ramp segment at the Weddington & Crest Lake Intersection



**SIDEWALK AND
RAMP ARE
HOME BUILDER
RESPONSIBILITY**

4. Paint stains along Crest Lake Drive in front of 13269 and continuing down towards 13243

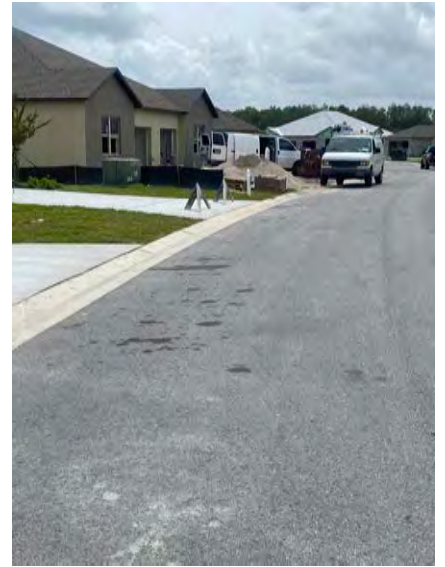


**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

Lakeside CDD Developer Punch List - BLUE Legend

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

5. Oil stains all along the street from construction trucks. Beginning near 13392 and past 13408



6. Shattered gutter in front of new construction on 13491 Crest Lake Drive



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

Lakeside CDD Developer Punch List - BLUE Legend

7. Missing sidewalk entrance/exit segment at Crest Lake and Eastfork Intersection
OLD SECTION - RAMP WAS REQUIRED BY HOME BUILDER
8. Missing sidewalk entrance/exit segment at Crest Lake and Eastfork Intersection
OLD SECTION - RAMP WAS REQUIRED BY HOME BUILDER
9. Clump of concrete in gutter in front of 13206 Crest Lake Drive. may impact stormwater runoff and drainage.



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

Lakeside CDD Developer Punch List - BLUE Legend

11. Cracked sidewalk exit segment at corner of Crest Lake Drive & Lakemont Drive in front of Lennar villa model home



OLD SECTION -
WEAR AND
TEAR OR COULD
HAVE BEEN
CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY

12. Missing sidewalk entrance/exit ramp segment at the Lakemont & Crest Lake Intersection.



OLD SECTION -
DEVELOPER
RESPONSIBILITY

Lakeside CDD Developer Punch List - BLUE Legend

13. Grass was never placed along Lakemont near the water facilities at the Lakemont & Crest Lake Drive Intersection. Weeds have been allowed to grow into this area. This was also the area that the builders would leave equipment for the creation of the roadways in the new section.



**OLD SECTION -
WEAR AND
TEAR OR COULD
HAVE BEEN
CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

14. There are random pipes still sticking out of the ground near to the water facilities on Lakemont near the Lakemont and Crest Lake intersection.



**UNKNOWN
MARKER**

Lakeside CDD Developer Punch List - BLUE Legend

15. Cracked sidewalk along Lakemont near the Lakemont & Crest Lake intersection where the construction trucks always parked when they were creating the roadways in the new section.



**OLD SECTION -
WEAR AND
TEAR OR COULD
HAVE BEEN
CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

Lakeside CDD Developer Punch List - BLUE Legend

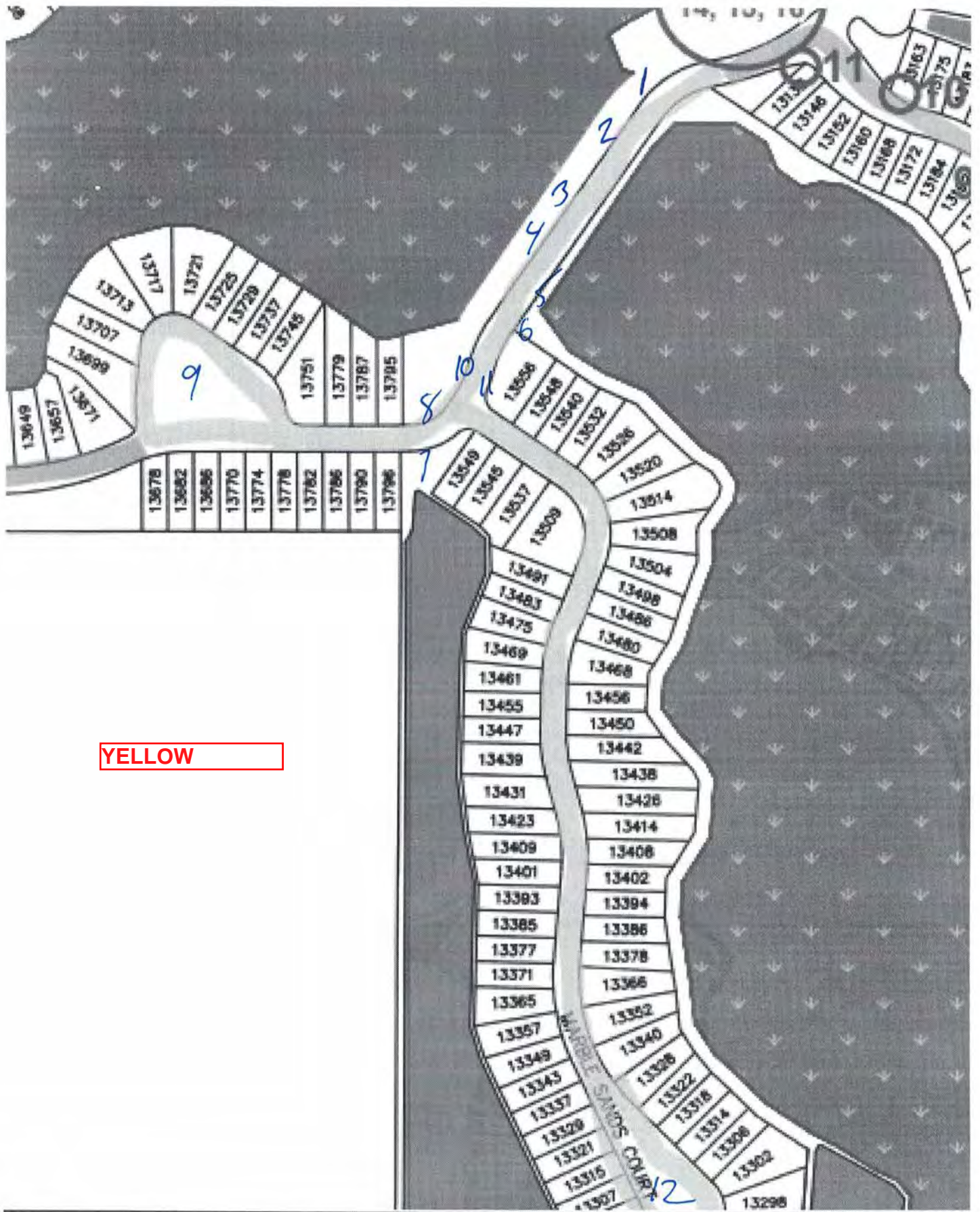
17. Paint and rust stains in the road at the Newport Sores & Sea Bridge intersection.



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

Jack Koch

YELLOW





1 – Pipe stubs remaining on edge of Sea Bridge

**UNKNOWN
MARKER**



2 – Paint and oil stains

basically run the length of Sea Bridge

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



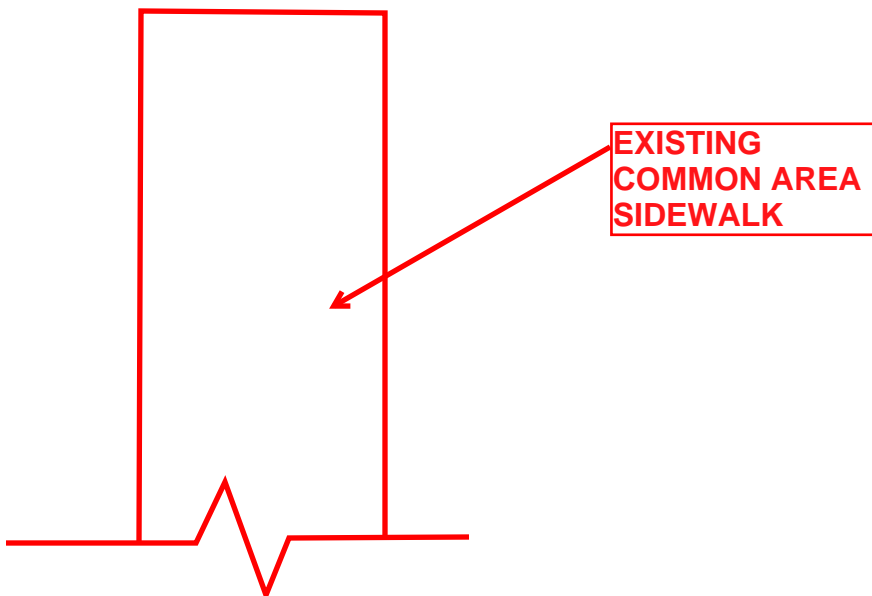
7 – Entire area will need to be GRADED and SODDED when work is complete

**HOME BUILDER
RESPONSIBILITY**

8. MISSING SIDEWALK - LOOKS LIKE THERE MAY STILL BE A HOME TO BE BUILT ON THIS LOT BUT IF NOT WILL NEED TO BE CONNECTED



**CAN NOT TELL
FROM PHOTO IF
MISSING
SIDEWALK
FRONTS A LOT
OR COMMON
AREA**





9 – Island being used for vehicle and supply storage. Extensive rutting and turf damage. Entire area will need to be re-graded and sodded once work is complete

**HOME BUILDER
RESPONSIBILITY**



10- Gutter damage on Sea Bridge

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



11 – Gutter damage on Sea Bridge

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



12 – Island at the end of Marble Sands was used for vehicle and material storage during building, turf is destroyed and area is heavily rutted. Needs to be re-graded and sodded.

**HOME BUILDER
RESPONSIBILITY**



Remaining photos basically run the length of Marble Sands where there is extensive oil, paint, and concrete staining from workers.

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



**CAUSED BY
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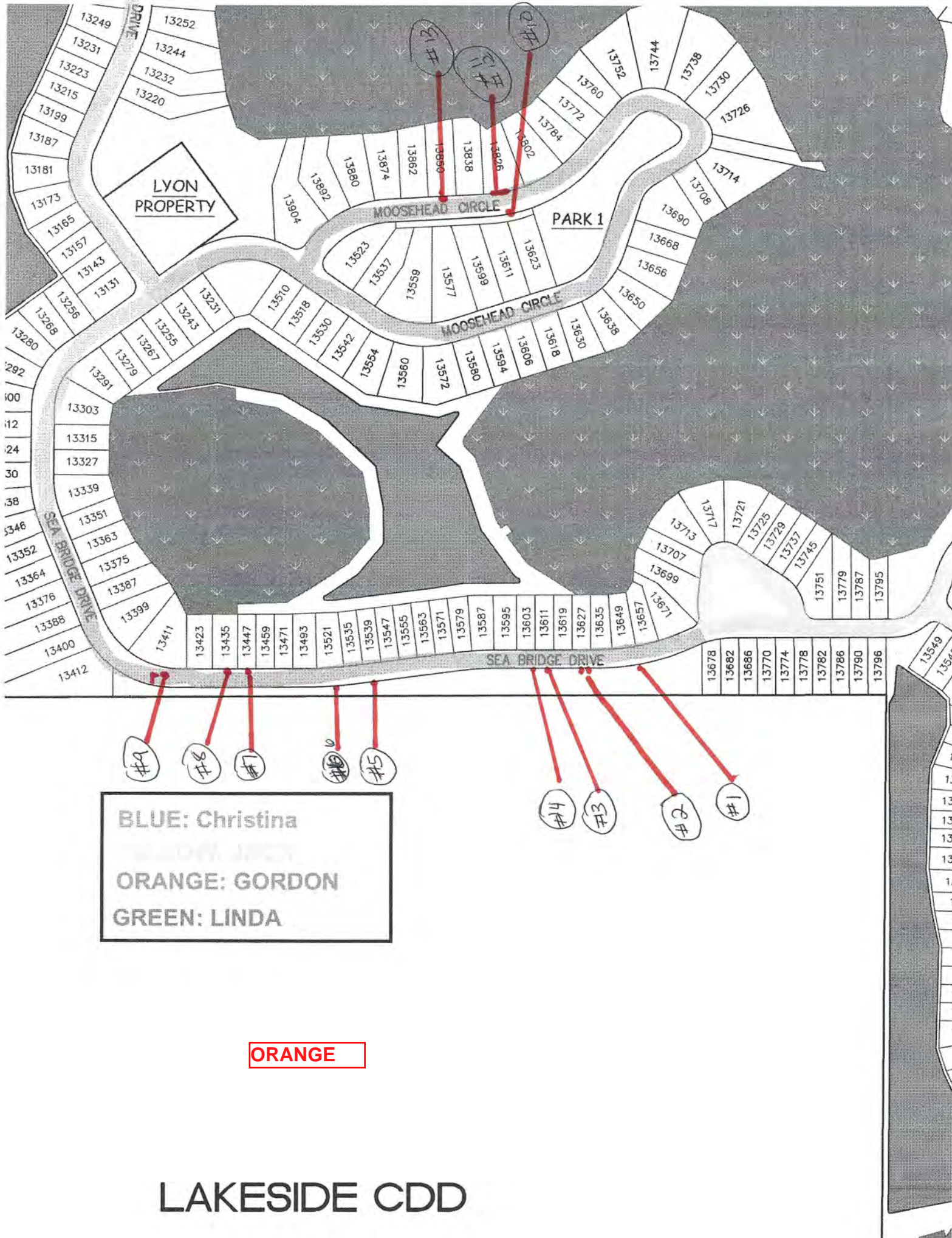
**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

Gordon Dexter

ORANGE





Gutter crack across street from 13521 Seabridge

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



Gutter crack at driveway 13447 Seabridge

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



Multiple gutter cracks next to 13447 Seabridge

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



Paint stain at 13411 Seabridge. Also oil stains all along construction area on Seabridge

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



Gutter crack and excess concrete across from 13826 Moosehead

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



Excess concrete 13826 Moosehead driveway

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**



Excess concrete 13826 Moosehead driveway

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

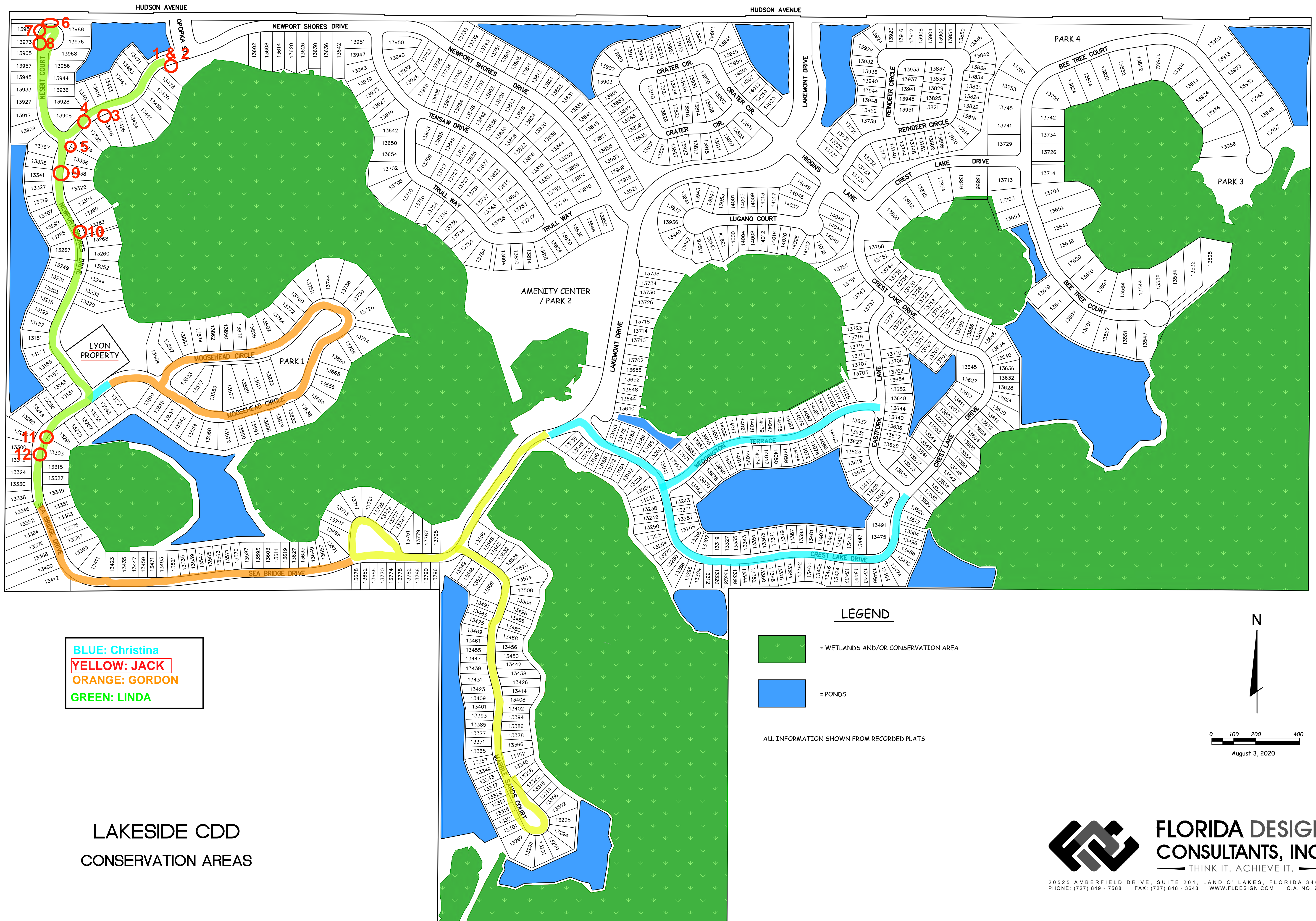


Gutter crack driveway at 13850 Moosehead

**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

Linda Ramlot

GREEN



Lakeside CDD Developer Punch List - GREEN

1. Exposed pipe sticking out of the ground.



**UNKNOWN
MARKER**

Lakeside CDD Developer Punch List - GREEN

3. Clump of concrete in gutter in front of 13418 Newport Shores Drive.



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

4. Paint on Rodeway in front of 13390 Newport Shores Drive



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

Lakeside CDD Developer Punch List - GREEN

5. Missing Sidewalk Entrance/Exit segment in-between 13374 & 13356 Newport Shores Drive.



**MISSING RAMP
IS HOME
BUILDER
RESPONSIBILITY**

6. Missing grass from where the construction debris used to lay, which killed the grass. Between 13988 & 13981 Nesbit Court



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

Lakeside CDD Developer Punch List - GREEN

7. Some damage to the gutter as well as excessive dried concrete in the gutter in front of 13981 Nesbit Court.



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

8. Concrete in gutter in front of 13973 Nesbit Court as well as other homes along this road, as water carried the concrete from the dumping site in the lot next-door down to the sewer.



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

Lakeside CDD Developer Punch List - GREEN

9. Giant paint stain in the street in front of 13338 Newport Shores Drive.



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

10. Paint stain in the street in front of 13282 Newport Shores Drive.



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

Lakeside CDD Developer Punch List - GREEN

12. Paint stains on the street in front of 13303 Newport Shores Drive.



**CAUSED BY
HOME BUILDING
CONSTRUCTION
ACTIVITY**

Tab 11

LAKE SIDE

Field Inspection Report



April 7, 2022

Rizzetta & Company

Jason Liggett - Field Services Manager



Rizzetta & Company
Professionals in Community Management

Summary, Hudson Avenue Lakemont Eastward

General Updates, Recent & Upcoming Maintenance Events.

The following are action items for RedTree Landscaping to complete. Please refer to the item # in your response listing action already taken or anticipated time of completion. **Red text** indicates deficient from previous report. **Bold Red text** indicates deficient for more than a month. **Green text** indicates a proposal has been requested. **Blue** indicates irrigation. **Orange** text represents Staff and **bold, black, underlined** represents questions or information for the BOS.

1. Redtree has installed the new plant material in the center island on Lakemont drive. Please make sure to monitor material for establishment.

5. Remove the vines growing in the Indian hawthorne in the same island on Lakemont drive as above.

2. During my inspection, the saint Augustine on Lakemont drive was struggling to get color. This does have to do with the irrigation controller issues that redtree is currently working through.(Pic 2)



3. Has the fakahatchee grass on the inbound side of Lakemont drive before Newport shores drive been treated for spider mites. If so, we need to do a rejuvenation prune to this material.(Pic 3>)



4. Treat the island Lakemont Drive of the center island across from the clubhouse for turf weeds.(Pic 4>)



Crest Lake Drive, Sea Bridge Drive

6. Treat the turf weeds throughout Lakemont drive in the saint Augustine.
7. Improve the detail in the common area on Crest Lake Drive after you make a right on Higgins Lane. Remove suckers and vines and treat weeds.(Pic 7)



13. Redtree to trim the plant material on the common area on sea bridge.(Pic 13)



8. Treat the walking path for weeds on crest lake drive and Higgins lane intersection. Make sure this is getting soft edged during services.
9. During my inspection the irrigation was still in operable on crest lake drive. Redtree has stated they are working on it.
10. Lift the oak trees on crest lake drive. The board approved to have oak trees cleaned out, but we still need to make sure the trees are lifted to the contracted height. 10 Feet.(Pic 10>)
11. Treat the turf weeds on higgins lane on the outbound side as you approach Lakemont drive.
12. Provide the district a price to install sod at the entrance to crater circle on the outbound side removing the jasmine. Connect it to the existing sod on Lakemont drive. (Pic 12)



Opopka St, Hudson Ave

13. Redtree to make sure that we are mowing the area at the intersection of Marble Sand Court and Sea Bridge Drive. New sod was recently installed.
14. Lift the oak trees at the opopka street entrance to 10 feet.
15. During my inspection there was still noticeable decline in the awbuki hedge on Lakemont drive. What does RedTree feel this is from?



Tab 12

LAKE SIDE

SOD Mitigation Report



March 23, 2022
Rizzetta & Company
Jason Liggett - Field Services Manager



Rizzetta & Company
Professionals in Community Management

Summary, Hudson Avenue Lakemont Eastward

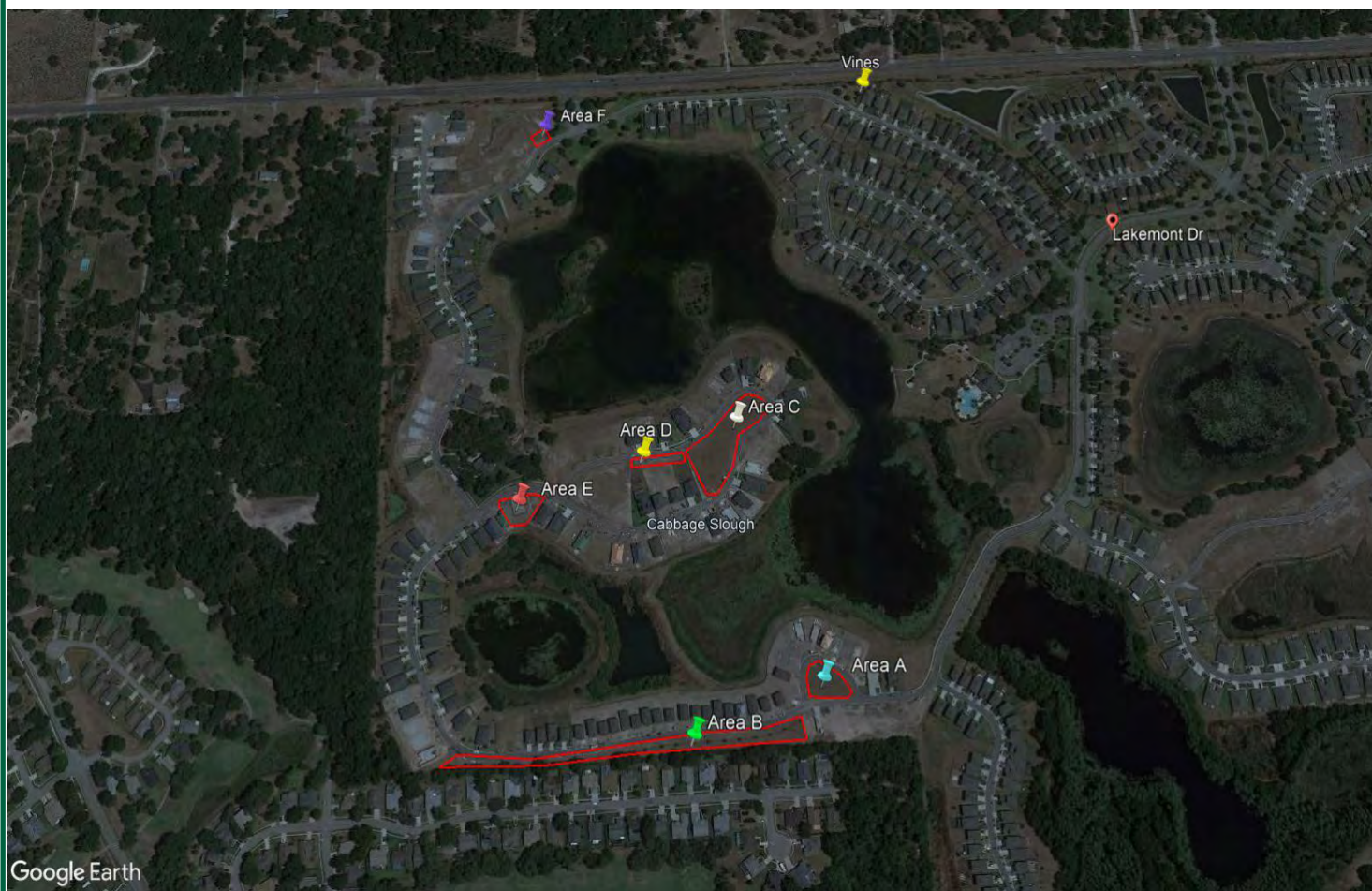
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Below is a map denoting the areas that are either not finished or have damage from the builders.

Area A
Area B
Area C
Area D
Area E
Area F

3



Area A

Area A Circular Island Sea Bridge Drive

Damage from construction vehicles bathrooms and sod being left on the common area.

Pictures below taken on December 7th 2021



Picture below taken on March 2nd 2022



Pictures below taken on February 14th 2022



Area B

Area B Long Common area on Sea Bridge Drive

Damage from construction vehicles bathrooms and sod being left on the common area.

Pictures below were taken August 9 2021



Pictures below were taken on February 14 2022



Area C, Area D, Area E, Area F

Area C Big Park on Moosehead Circle

Damage from construction vehicles bathrooms and sod being left on the common area.

Pictures below were taken February 14 2022



Area D Strip of grass on Moosehead circle

Doesn't look to ever be finished are is just damaged.



Area E Lift station on Moosehead Circle

Damage from vehicles area need to be sodded.



Area F Corner area at Newport Shores Drive and Opoka Street.

Damage from vehicles and debris being piled up.



Tab 13



The New Standard in Landscape Maintenance

1.888.RED.TREE

www.redtreelandscapesystems.com

5532 Auld Lane, Holiday FL 34690

Crepe Myrtle Installation Proposal

FOR

Lakeside CDD

Attention: Mr. Lynn Hayes

April 15, 2022

Scope of Work

Landscape Enhancement behind 14023 Crater Circle



- Install (5) 30-gallon Crepe Myrtles.
- Includes all labor materials.

PRICE: **\$2,060.00**

Authorized Signature to Proceed

Date of Authorization

Proposal submitted by Robert Johnson - Client Care Specialist
rjohnson@redtreelandscapesystems.com / Cell phone: (727) 267-2059



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5532 Auld Lane, Holiday FL 34690

Red Cedar Tree Removal Proposal

FOR

Lakeside CDD

Attention: Mr. Lynn Hayes

April 15, 2022

Scope of Work

Removal of dead Eastern Red Cedar trees across from 13521 Seabridge Drive



- Remove (7) dead Eastern Red Cedar trees.
- Includes all labor, hauling and dumping fees.

PRICE: \$400.00

Authorized Signature to Proceed

Date of Authorization

Proposal submitted by Robert Johnson - Client Care Specialist
rjohnson@redtreelandscapesystems.com / Cell phone: (727) 267-2059

Tab 14



Lakeside CDD Waterway Inspection Report

Reason for Inspection:

Inspection Date: 2022-04-13

Prepared for:

District Manager
Rizzetta & Company

Prepared by:

Jason Diogo, Aquatic Biologist

Wesley Chapel Field Office
SOLITUDELAKEMANAGEMENT.COM
888.480.LAKE (5253)

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Site: 11**Comments:**

Treatment in progress

The floating weeds have cleared and progress is being made with the Cattails. Less than 15% remains from the original mass.

Action Required:

Routine maintenance next visit

Target:

Cattails



April, 2022



April, 2022

Site: 12**Comments:**

Treatment in progress

We're continuing to make progress on the dense biomass of Cattails. We'll continue to cut them back from the shore inwards until the desired result is achieved

Action Required:

Routine maintenance next visit

Target:

Cattails



April, 2022



April, 2022

Site: 13**Comments:**

Treatment in progress

Submersed weeds have been reduced by 50-75%. Decomposing root mats can be seen floating near the surface.

Action Required:

Routine maintenance next visit

Target:

Submersed vegetation



April, 2022



April, 2022

Site: 14**Comments:**

Site looks good

Site contains minor shoreline weeds on exposed banks. Open water looks good.

Action Required:

Routine maintenance next visit

Target:

Shoreline weeds



April, 2022



April, 2022

Site: 15**Comments:**

Site looks good

Site remains 100% dry.
Minor weed growth on exposed bottom.

Action Required:

Routine maintenance next visit

Target:

April, 2022



April, 2022

Site: 16**Comments:**

Treatment in progress

Lillies have not responded well to first treatment. Follow up application will be completed 4/19. Some debris from a home made fort inside control structure.

Action Required:

Routine maintenance next visit

Target:

Floating Weeds



April, 2022



April, 2022

Site: 17**Comments:**

Normal growth observed

Minor weed growth on exposed littoral shelf area along the perimeter will be targeted during 4/19 maintenance.

Action Required:

Routine maintenance next visit

Target:

Shoreline weeds



April, 2022

April, 2022

Management Summary

This month's inspection included sites 11-17.

We're continuing to see improvement on the majority of the sites mentioned. Sites 11-13 have had a significant reduction in Cattail density, with more to come.

The Lillies on site 16 were targeted during last months maintenance, but we're not seeing significant progress. Another application, specifically targeting them, will be made on 4/19. We should see better results in 4 -8 weeks.

Water levels have finally come up in most of the sites, with the exception of 15. This site remains completely dry.

Just reach out with any questions or concerns. jason.diogo@solitudelake.com

Thanks for choosing Solitude Lake Management!

Site	Comments	Target	Action Required
11	Treatment in progress	Cattails	Routine maintenance next visit
12	Treatment in progress	Cattails	Routine maintenance next visit
13	Treatment in progress	Submersed vegetation	Routine maintenance next visit
14	Site looks good	Shoreline weeds	Routine maintenance next visit
15	Site looks good		Routine maintenance next visit
16	Treatment in progress	Floating Weeds	Routine maintenance next visit
17	Normal growth observed	Shoreline weeds	Routine maintenance next visit



Tab 15



Rizzetta & Company

UPCOMING DATES TO REMEMBER

- **Next Meeting:** May 25, 2022 @ 5:00 PM
- **FY 2020-2021 Audit Completion Deadline:** June 30, 2022
- **Next Election (Seat 1 Samantha Manning, Seat 2 Linda Ramlot, Seat 5 Jack Koch):** November 8, 2022
- **General Election Qualifying Period:** Noon, June 13, 2022 – Noon, June 17, 2022 to submit your paperwork to the Pasco County Supervisors Elections Office

District Manager's Report

April 27

2022

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FINANCIAL SUMMARY

2/28/2022

General Fund Cash & Investment Balance:	\$422,130
Reserve Fund Cash & Investment Balance:	\$240,473
Debt Service Fund Investment Balance:	<u>\$1,114,417</u>
Total Cash and Investment Balances:	\$1,777,020

General Fund Expense Variance: \$4,870 Under Budget